

JASON PRICE CONSTRUCTION INC.

2323 Keith Hills Road

Lillington, NC 27546

(910) 814-4236

jpriceconstruction@yahoo.com

Building Code Summary for Campbell Pointe Maintenance Building

Building is 900 sq. ft. total

Front office area is 250 sq. ft. and is "B" occupancy (Non Separated Mixed Use)

Back storage area is 650 sq. ft. and is "S1" occupancy (Non Separated Mixed Use)

Maximum building height is 18'-8"

Construction Type: 5B

Climate Zone is 4A

Roof Ceiling Assembly: Wood truss / Asphalt shingle, Insulation R42

Exterior Wall Assembly: Wood studs walls / Batt insulation / Brick veneer, Insulation R15 w/ R7.5 C.I.

Floor Slab Assembly: Concrete Slab on Grade, Insulation is R15 to top of footing or 24 whichever is less.

Life safety equipment:

Exit lights: YES

Exit signs: YES

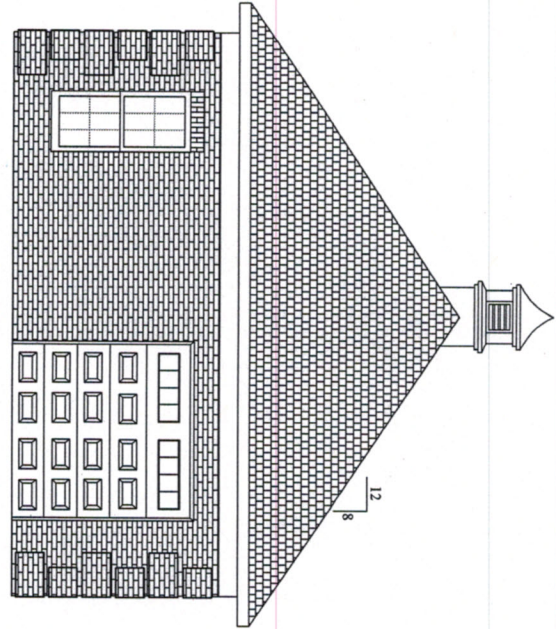
Panic Hardware: NO

Fire Alarm: NO

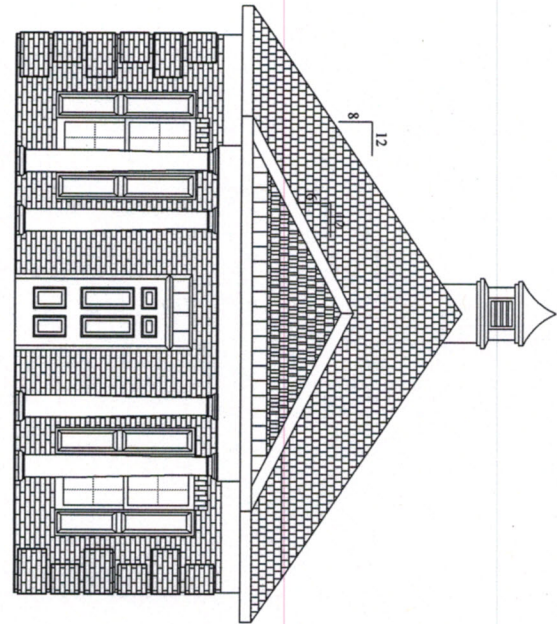
Smoke Detection Equipment: NO

Accessibility Code: ICC/ ANSI 117.1

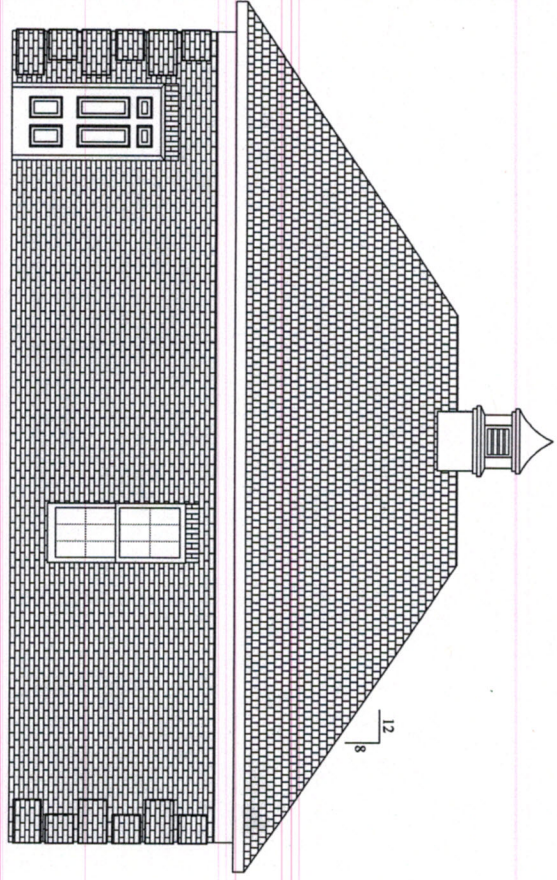
THIS PLAN IS DESIGNED TO MEET THE REQUIREMENTS OF THE NORTH CAROLINA BUILDING CODE 2018 EDITION



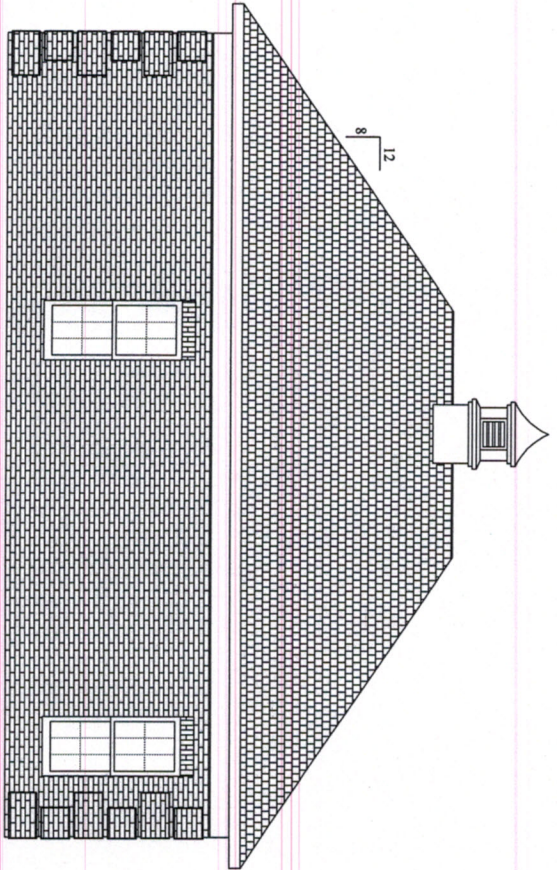
FRONT ELEVATION



REAR ELEVATION



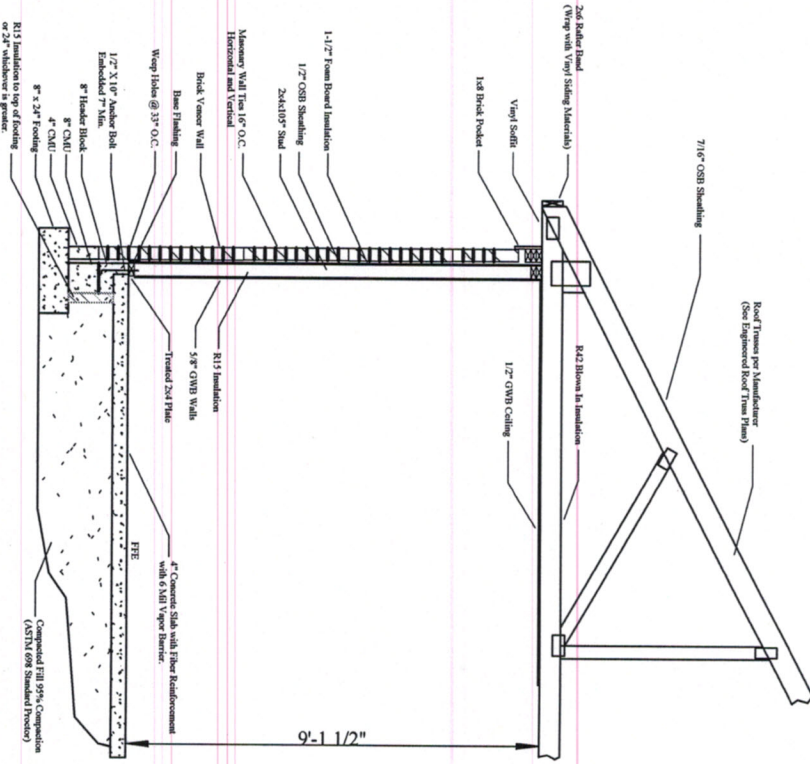
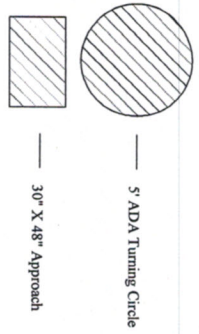
LEFT ELEVATION



RIGHT ELEVATION

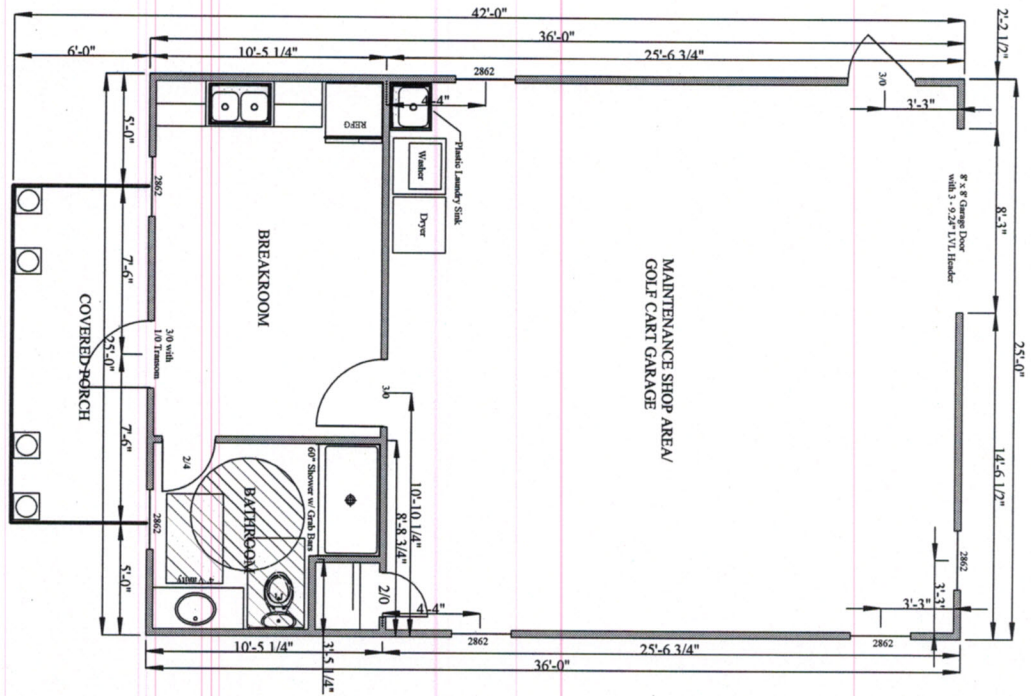
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|---|---|--|--|------------------|
| <p>DATE: January 24, 2019</p> <p>SCALE: 1/4" = 1'-0"</p> <p>THESE DOCUMENTS ARE THE PROPERTY OF JASON PRICE CONSTRUCTION INC. AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THESE DOCUMENTS WITHOUT THE WRITTEN PERMISSION OF JASON PRICE CONSTRUCTION INC. IS STRICTLY PROHIBITED.</p> | <p>ELEVATIONS MAINTENANCE BUILDING</p> | <p>Winston 104 Group LLC 2323 Keith Hills Rd. Lillington, NC 27546 Phone: (910) 814-4236 Fax: (520) 842-3303</p> | <p>Jason Price Construction Inc. 2323 Keith Hills Rd. Lillington, NC 27546 Phone: (910) 814-4236 Fax: (520) 842-3303</p> | <p>F1</p> |
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WALL SECTION

Not to Scale



FLOOR PLAN

(9' Ceiling Height Unless Otherwise Noted)

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| | DATE: 11-1-14 SCALE: | THESE DOCUMENTS ARE THE PROPERTY OF JASON PRICE CONSTRUCTION INC. ANY REUSE OR REPRODUCTION WITHOUT PERMISSION IS STRICTLY PROHIBITED. | Winston 104 Group LLC 2323 Keith Hills Rd. Lillington, NC 27546 Phone: (910) 814-4236 Fax: (520) 842-3303 | Jason Price Construction Inc. 2323 Keith Hills Rd. Lillington, NC 27546 Phone: (910) 814-4236 Fax: (520) 842-3303 |
| | PROJECT: FLOOR PLAN MAINTENANCE BUILDING | | | |

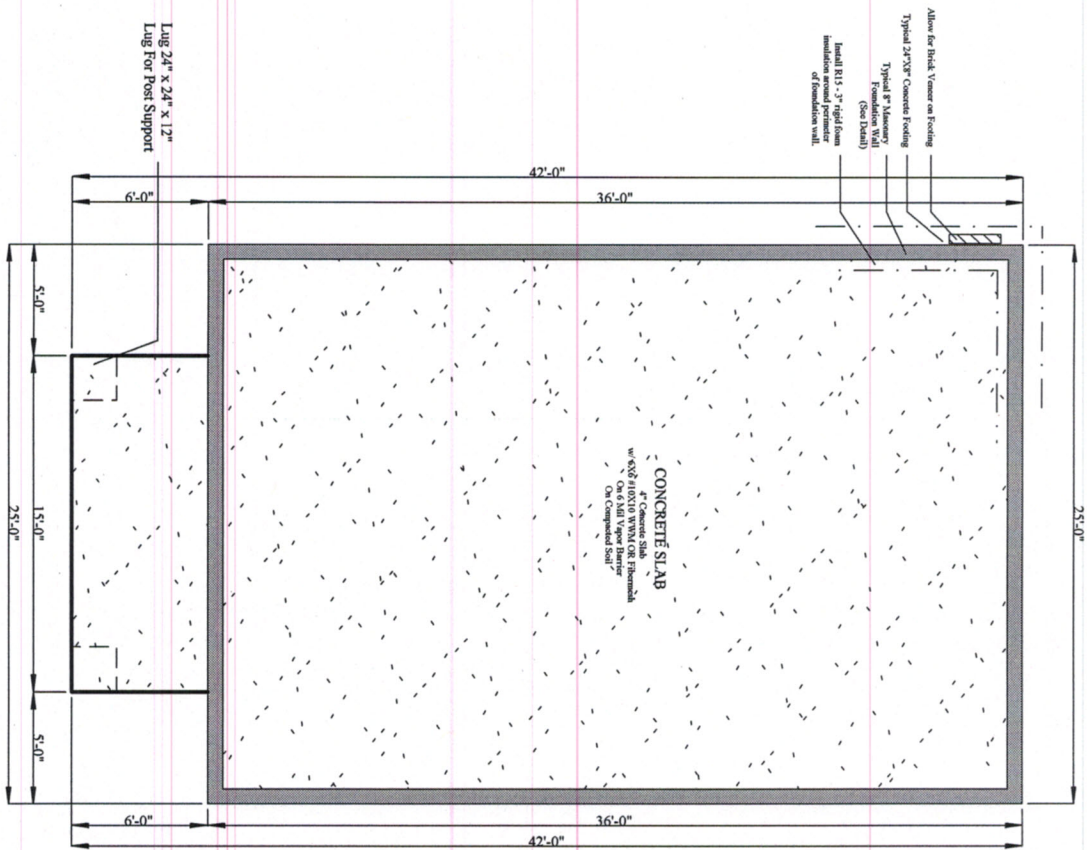
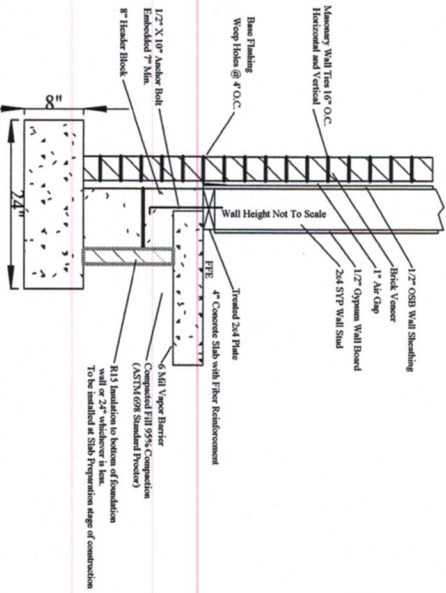
FOUNDATION ANCHOR NOTES

The perimeter wood sill plate shall be anchored to the foundation with 1/2" x 6" anchor bolts spaced a maximum of 6'-0" O.C. Anchor bolts shall be 1/2" in diameter and shall extend a minimum of 7" into masonry or concrete.

GENERAL NOTES:

1. Foundation design based on 2000 lb/ft allowable wall bearing capacity.
2. Concrete engineer's report and conditions are encountered in foundation excavation.
3. Concrete block (CMU) to be hollow, insulating, concrete masonry with ASTM C90-41T.
4. Reinforced Concrete: ASTM spec 150.
5. Mortar: Type S masonry mortar per ASTM C270.
6. Lame: Type "S" and meeting ASTM Spec C207.
7. Mixing water: Clean and free from oil, acid, impurities amounts of organic matter, salt and other materials.
8. All concrete shall be placed in 4" lifts.
9. Steel: To be A-36 fabricated in accordance with AISC Spec.
10. Both to be A-325. Welds to be made with E-70 electrodes.
11. Wire reinforcement to be grade 40.
12. Masonry joint reinforcement to be Two-C Wall at 16" vertical.
13. Vapor barrier: All slabs on grade to be placed with 6 mil poly.

FOUNDATION DETAIL
Not to Scale



FOUNDATION PLAN

Scale 1/4" = 1'-0"

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