

APPLICATION IDENTIFICATION		N.C. DEPARTMENT OF TRANSPORTATION STREET AND DRIVEWAY ACCESS PERMIT APPLICATION
Driveway Permit No.	Date of Application <u>11-5-18</u>	
County: <u>HARNETT</u>		
Development Name: <u>MIKE & ANGLA RHODES (Bogo snoballs)</u>		

LOCATION OF PROPERTY:
Route/Road: SR 2272 (Brown street)

Exact Distance 127' Miles Feet N S E W

From the Intersection of Route No. SR 2272 and Route No. US 401 Toward Dead End NORTH

Property Will Be Used For: Residential /Subdivision Commercial Educational Facilities TND Emergency Services Other

Property: is is not within FURQUAY - VARINA City Zoning Area.

AGREEMENT

- I, the undersigned property owner, request access and permission to construct driveway(s) or street(s) on public right-of-way at the above location.
- I agree to construct and maintain driveway(s) or street entrance(s) in absolute conformance with the current "Policy on Street and Driveway Access to North Carolina Highways" as adopted by the North Carolina Department of Transportation.
- I agree that no signs or objects will be placed on or over the public right-of-way other than those approved by NCDOT.
- I agree that the driveway(s) or street(s) will be constructed as shown on the attached plans.
- I agree that that driveway(s) or street(s) as used in this agreement include any approach tapers, storage lanes or speed change lanes as deemed necessary.
- I agree that if any future improvements to the roadway become necessary, the portion of driveway(s) or street(s) located on public right-of-way will be considered the property of the North Carolina Department of Transportation, and I will not be entitled to reimbursement or have any claim for present expenditures for driveway or street construction.
- I agree that this permit becomes void if construction of driveway(s) or street(s) is not completed within the time specified by the "Policy on Street and Driveway Access to North Carolina Highways".
- I agree to pay a \$50 construction inspection fee. Make checks payable to NCDOT. This fee will be reimbursed if application is denied.
- I agree to construct and maintain the driveway(s) or street(s) in a safe manner so as not to interfere with or endanger the public travel.
- I agree to provide during and following construction proper signs, signal lights, flaggers and other warning devices for the protection of traffic in conformance with the current "Manual on Uniform Traffic Control Devices for Streets and Highways" and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the District Engineer.
- I agree to indemnify and save harmless the North Carolina Department of Transportation from all damages and claims for damage that may arise by reason of this construction.
- I agree that the North Carolina Department of Transportation will assume no responsibility for any damages that may be caused to such facilities, within the highway right-of-way limits, in carrying out its construction.
- I agree to provide a Performance and Indemnity Bond in the amount specified by the Division of Highways for any construction proposed on the State Highway system.
- The granting of this permit is subject to the regulatory powers of the NC Department of Transportation as provided by law and as set forth in the N.C. Policy on Driveways and shall not be construed as a contract access point.
- I agree that the entire cost of constructing and maintaining an approved private street or driveway access connection and conditions of this permit will be borne by the property owner, the applicant, and their grantees, successors, and assignees.
- **I AGREE TO NOTIFY THE DISTRICT ENGINEER WHEN THE PROPOSED WORK BEGINS AND WHEN IT IS COMPLETED.**

SIGNATURES OF APPLICANT

PROPERTY OWNER (APPLICANT)		WITNESS	
COMPANY	<u>MICHAEL RHODES</u>	NAME	<u>Rodney L. Parker</u>
SIGNATURE	<u>Michael Rhodes</u>	SIGNATURE	<u>Rodney L. Parker</u>
ADDRESS	<u>1013 WAGSTAFF RD., FURRY-VARINA, NC 27526</u>	ADDRESS	<u>817 Wagstaff Rd., Furry-Varina N.C. 27526</u>
	Phone No. <u>919.427.8995</u>		

AUTHORIZED AGENT		WITNESS	
COMPANY	<u>BENON DEWAR & ASSOC.</u>	NAME	<u>Scott Lambert</u>
SIGNATURE	<u>W. Dewar, PLS</u>	SIGNATURE	<u>Scott Lambert</u>
ADDRESS	<u>5920 HONEYCUTT RD, HOLLY SPRINGS NC 27540</u>	ADDRESS	<u>153 ANNANDALE DR CLAYTON, NC 27520</u>
	Phone No. <u>919.868.1449</u>		

APPROVALS

APPLICATION RECEIVED BY DISTRICT ENGINEER

SIGNATURE DATE

APPLICATION APPROVED BY LOCAL GOVERNMENTAL AUTHORITY (when required)

SIGNATURE TITLE DATE

APPLICATION APPROVED BY NCDOT

RM Ramm^{cc} _____
SIGNATURE TITLE DATE
DE 11-5-18

INSPECTION BY NCDOT

SIGNATURE TITLE DATE

COMMENTS:

Adams Soil Consulting
1676 Mitchell Road
Angier, NC 27501
919-414-6761

November 30, 2018
Project #689

Rodney Baker

RE: Soil/Site an existing septic system evaluation for 9063 US 401S (Fuquay-Varina) in Harnett County.

To whom it may concern:


Adams Soil Consulting completed a soils evaluation for the above referenced parcel. The purpose of the site evaluation was to locate the existing septic system. The soil/site evaluation was performed using hand auger borings, under moist soil conditions, based on the criteria found in the State Subsurface Rules, 15ANCAC 18A .1900 "Laws and Rules for Sewage Treatment and Disposal Systems" for the soil evaluation. At the time of evaluation, the existing tank was uncovered and exposed.

A septic permit could not be located on file with the Harnett County Health Dept. Based on conversations with the property owner the existing tank and drain field serviced the existing structure (home) and was used for domestic on-site wastewater disposal with no know issues of failure in the past. It is the desire of interested parties to utilize the existing structure and associated septic system for a commercial facility with 2 employees. Based on my observation of the tank and associated drain field I do not have any reason to assume the system will not function properly if placed back into service and the existing septic field appears to be sized for up to a 240 gallons/day system capacity. There is apparent adequate available space for a complete repair septic field should a repair be required in the future. The lot may require a repair septic system utilizing pumps, shallow or ultra-shallow conventional trench placement, low pressure pipe system, prefabricated permeable block panel system (PPBPS), and/or pretreatment system for final approval.

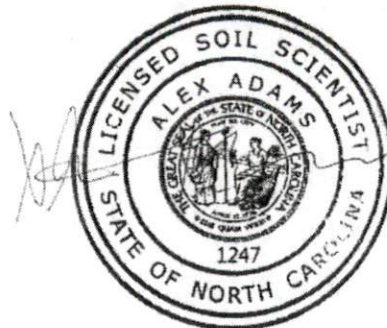
The lot will require a detailed soils evaluation by the Harnett County Health Department prior to issuance of any permits for repair septic systems. A full septic design may be required before a permit can be issued on the above referenced lot demonstrating available space for the repair septic areas. Due to the subjective nature of the permitting process and the variability of naturally occurring soils, Adams Soil Consulting cannot guarantee that areas delineated as suitable for on-site wastewater disposal systems will be permitted by the governing agency. The accompanying site sketch shows the approximate location of the existing septic system. A site sketch with approximate septic system location can be supplied if requested.

Please give me a call if you have any questions.

Sincerely,



Alex Adams
NC Licensed Soil Scientist #1247



- LEGEND**
- | | |
|---------------------------------------|-------------------------------|
| CMS - CONCRETE MONUMENT SET | EDS - EXISTING COTTON SPINKLE |
| ESM - EXISTING CONCRETE MONUMENT | CSB - COTTON SPINKLE SET |
| ESP - EXISTING IRON SPIKE | D - DRAINAGE |
| ES - EXISTING IRON SPIKE | D - GAS LINE |
| ESR - EXISTING REBAR | S - SHOWER SEWER |
| ESD - EXISTING COTTON SPIKE | M - MANHOLE |
| EM - EXISTING IRON NAIL | E - ELECTRIC |
| EM - EXISTING IRON NAIL | T - TELEPHONE |
| ESR - EXISTING RAILROAD SPIKE | FM - FINE MESHMENT |
| ES - IRON SPIKE SET | WM - WATER METER |
| ESD - IRON SPIKE SET | WF - WATER VALVE |
| ESR - RAILROAD SPIKE SET | CO - SEWER CLEANOUT |
| MS - NAIL SET | TP - TELEPHONE PEDestal |
| ESR - P.C. OR NAIL NAIL SET | UP - UTILITY POLE |
| MS - RIGHT OF WAY | EL - ELEVATION |
| CL - CORNER | WH - WHIRL |
| S.M. - BOOK OF MAPS | MC - MARK OF CURB |
| P.B. - PLAT BOOK | MC - MARK OF CURB |
| M.S. - MAP BOOK | MC - MARK OF CURB |
| D.B. - DEED BOOK | MC - MARK OF CURB |
| SP - SET BACK | MC - MARK OF CURB |
| EP - EASE PRESENT | MC - MARK OF CURB |
| NCSS - NORTH CAROLINA GEODETIC SURVEY | CP - CORNER POINT |

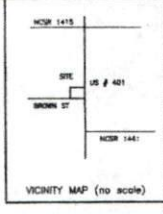
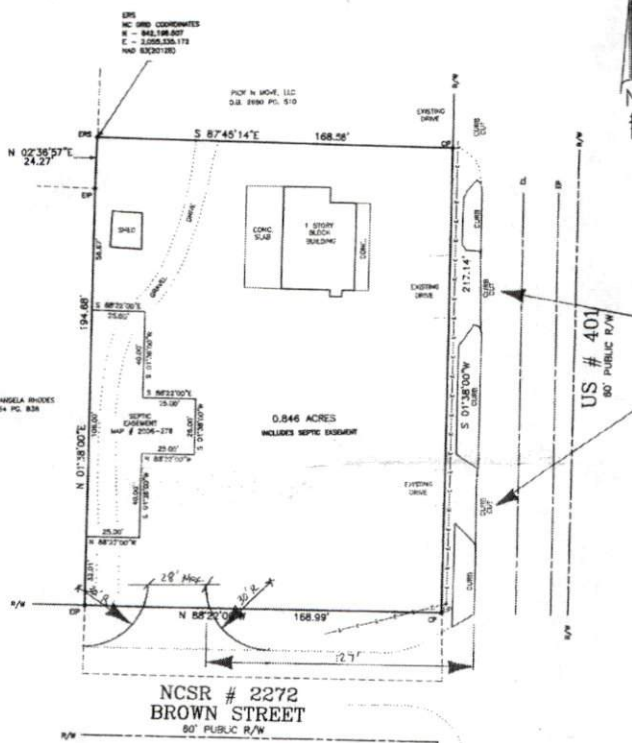
NOTES
 AREA BY COORDINATES
 THIS PROPERTY IS NOT LOCATED IN A FEMA MAPPED
 FLOOD HAZARD AREA, FEMA MAP # 2700000000
 ZONE IS BY DATE 10/27/2006. UNDEVELOPED
 SUBJECT TO ABOVE AREA OF UNDERGROUND
 UTILITIES AND OR EASEMENTS.

**NORTH CAROLINA DEPARTMENT
 OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 DRIVEWAY PERMIT APPROVED**
 BY *E.P. Little*
 DATE 11-5-18

ANY PARCELS OR ENCUMBRANCES
 ARE TO BE SHOWN BY SURVEY WITH
 NO ACROSS THE STATEMENTAL
 RIGHT OF WAY

ONLY NORTH CAROLINA DEPARTMENT
 OF TRANSPORTATION APPROVED
 STRUCTURES ARE TO BE
 CONSTRUCTED ON PUBLIC
 RIGHT OF WAY.

L. BENTON W. DEWAR, PROFESSIONAL LAND SURVEYOR
 NO. 1-3040 (SEAL)
 THAT THIS PLAN IS OF A BOUNDARY SURVEY OF AN
 EXISTING PARCEL OF LAND THAT IS REGULATED
 BY A COUNTY OR MUNICIPAL ORDINANCE THAT
 REGULATES PARCELS OF LAND.
 BENTON W. DEWAR
 BENTON W. DEWAR CERTIFY THAT THIS PLAN WAS PREPARED UNDER
 MY SUPERVISION AND THAT I AM A QUALIFIED SURVEYOR UNDER
 THE PROVISIONS OF THE STATE OF NORTH CAROLINA.
 THAT THE BOUNDARIES AND AREAS SHOWN ON THESE LINES
 PLATTED FROM REVISIONS FOUND IN BOOK
 PAGE 540 OF DEED BOOK 2220, DATE OF 10/27/2006.
 LICENSE NUMBER AND EXPIRES DATE: 10/27/2018
 BENTON W. DEWAR, NCPLS - 3040



Close Existing
 Driveways

**NCSR # 2272
 BROWN STREET**
 80' PUBLIC R/W

EXISTING CONDITIONS SURVEY FOR
MICHAEL & ANGELA RHODES
 9063 US 401 N. FUGUAY-VARINA, NC 27526
 DEED BOOK 2220 PAGE 540

MAP # 2006 - 278
 PIN # 0654-52-4029.000
 HECTOR'S CREEK TOWNSHIP

HARNETT COUNTY - NORTH CAROLINA
 SCALE: 1" = 30' - OCTOBER 27, 2018

BENTON W. DEWAR AND ASSOCIATES
 PROFESSIONAL LAND SURVEYOR
 5820 HONEYCUTT ROAD
 HOLLY SPRINGS, NC 27540
 PH. # (919)-552-9813



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

JAMES H. TROGDON, III
SECRETARY

November 5, 2018

Mr. Michael Rhodes
1013 Wagstaff Road
Fuquay-Varina, North Carolina 27526

ATTN: Mr. Benton Dewar, PLS
Benton Dewar & Associates
5920 Honeycutt Road
Holly Springs, North Carolina 27540

SUBJECT: APPLICATION - DRIVEWAY ENTRANCE ONTO SR 2272 (BROWN STREET)
PERMIT NUMBER 18-043-053 (BOGO Snoballs Site)
HARNETT COUNTY

To whom it may concern:

Please find attached for your file a copy of the Driveway Application, which has been properly executed. This Driveway Permit is approved subject to the provisions stated in the Permit Application Agreement and the following special provisions:

- **The two (2) existing driveways on US Highway 401 North as shown on attached plan shall be barricaded. Barricading these driveways will aid in maintaining safe and efficient movement of vehicles on US Highway 401 North.**
- **The property as show on attached shall be served from the proposed driveway on SR 2272 (Brown Street) and have no access onto US Highway 401 North.**
- **Driveway construction must be completed within one (1) year after the approval date.** This Driveway Permit becomes null and void after that time and the Applicant will be required to reapply for access. Consideration may be given for time extensions on a case by case basis.
- An executed copy of this Permit will be present at the construction site at all times during construction. NCDOT reserves the right to stop all work unless evidence of approval can be shown.
- **Any change or alteration of the existing or proposed property use shall require a new Driveway Permit. Failure to secure required Permits prior to construction or change in property usage may result in the removal of the driveway at the expense of the Permittee.**
- **Changes noted in red on the plans shall be incorporated into and made a part of the approved Permit.**

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
DIVISION SIX / DISTRICT TWO
POST OFFICE BOX 1150
FAYETTEVILLE, NC 28302

Telephone: (910) 364-0601
Fax: (910) 437-2529
Customer Service: 1-877-368-4968

Location:
600 SOUTHERN AVENUE
FAYETTEVILLE, NC 28306

Website: www.ncdot.gov

- All out parcels or excluded areas shall be served internally, with no additional access onto abutting roadways permitted. This condition should be conveyed in any buy, sell, lease, rent, or subdivision agreement.
- **It is the responsibility of the Permittee to provide inspection of the work that is performed on the right of way as a part of this Permit. This work includes, but is not limited to, culvert and drainage structure installation, roadway widening, grading work, pavement structure installation (subgrade, base, and pavement), and traffic marking and marker installation. Please note that the Permittee is also responsible for contacting Mr. Earl C. Locklear, Assistant District Engineer at (910) 364-0601 at least 24 hours prior to beginning construction and prior to "critical events," such as backfilling pipe, installing curb and gutter, and placing asphalt.**
- **Approval of the Driveway Permit does not constitute review or approval of subdivision streets for NCDOT maintenance.** If addition of subdivision streets to the State Maintenance System is desired, plans for review and a Petition for Addition shall be submitted to the District Engineer's office. For further information, contact Ms. Janet R. James, Engineering Technician, at (910) 364-0601.
- All materials and construction shall be in accordance with NCDOT Standards and Specifications, including but not limited to, the latest NCDOT *Standard Specifications for Roads and Structures*, the latest NCDOT *Roadway Standards Drawings*, and *NCDOT Policies and Procedures for Accommodating Utilities on Highway Rights of Way*.
- The traveling public shall be warned of construction with complete and proper signing and traffic control devices in accordance with the *current Manual on Uniform Traffic Devices* (MUTCD). No work shall be performed in the right of way unless this requirement is satisfied. NCDOT reserves the right to require a written traffic control plan for encroachment operations. All contractor personnel will be required to wear a class II ANSI approved safety vest while working within DOT rights of way.
- NCDOT does not guarantee the right of way on this road, nor will it be responsible for any claim for damages brought by any property owner by reason of the installation. All right of way and easements necessary for construction and maintenance shall be dedicated to NCDOT and proof of dedication shall be furnished to the District Engineer prior to beginning work.
- Two-way traffic shall be maintained at all times.
- **No lane of traffic on SR 2272 (Brown Street) shall be closed or restricted between the hours of 6:00 a.m. to 9:00 a.m. and 4:00 p.m. to 7:00 p.m., or on Sundays, holidays, special events, or as directed by the Engineer.**
- NCDOT reserves the right to further limit, restrict, or suspend operations within the right of way if, in the opinion of NCDOT, safety or traffic conditions warrant such action.
- Mr. Frank West, Division Traffic Engineer, shall be notified at (910) 364-0606 prior to beginning work on the right of way if there are existing NCDOT signs, traffic signals, or signal equipment in or near the proposed work zone. Costs to relocate, replace, or repair NCDOT signs, signals, or associated equipment shall be the responsibility of the Permittee. Furthermore, any revisions to existing traffic signals or the installation of any new traffic signals shall require a Signal Agreement between the Permittee and the NCDOT. Additional information concerning this subject can be obtained from the Division Traffic Engineer.
- When surface area in excess of one acre will be disturbed, the Permittee shall submit a Sediment and Erosion Control Plan which has been approved by the appropriate regulatory agency or authority prior to beginning any work on the right of way. Failure to provide this information shall be grounds for suspension of operations.

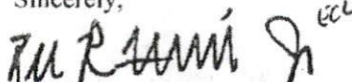
- All erosion control devices and measures shall be constructed, installed, maintained, and removed by the Permittee in accordance with all applicable Federal, State, and Local laws, regulations, ordinances, and policies. All earth areas shall be re-graded and seeded in accordance with current NCDOT Standards and Specifications.
- It shall be the responsibility of the Permittee to determine the location of other utilities within the work zone. The Permittee shall be responsible for notifying other utility owners and providing protection and safeguards to prevent damage or interruption to existing facilities and to maintain accessibility to existing utilities.
- Curb cuts and ramps for handicapped persons shall be constructed in accordance with the current NCDOT "Standard for Wheelchair Ramp Curb Cuts" and the Americans with Disabilities Act (ADA) Accessibility Guidelines for Buildings and Facilities.
- Access granted under this permit shall remain closed (i.e. barricaded) to all traffic until all requirements relating to traffic control and signalization have been satisfied.
- Any proposed landscaping or landscape plantings shall be approved by the Division Engineer under an NCDOT Planting Permit. For further information, please contact Mr. Keith Beverley, Division Roadside Environmental Engineer, at (910) 364-0603.
- Pre-cast concrete manholes, catch basins, or other drainage structures shall be pre-approved by NCDOT for use within highway rights of way.
- Manhole rings and covers, valve covers, and storm drainage grates and frames shall be traffic bearing types approved by NCDOT for use within highway Rights of Way.
- **~~The proposed driveway shall be paved to the right of way line of SR 2272 (Brown Street) measured from the edge of existing pavement as shown on the attached plans.~~**
- **The proposed entrance onto SR 2272 (Brown Street) shall be constructed with 30' ingress, egress, and regress edge of pavement radii as shown on the attached plans.**
- **The proposed entrance onto SR 2272 (Brown Street) shall be constructed with 28' (maximum) width roadway as shown on the attached plans.**
- The entrance grade shall be constructed in accordance with Figure 16 (attached).
- **Pipe, if required, shall be manufactured from reinforced concrete or steel, shall be a minimum diameter of 15 inches, a minimum of 20' in length, and shall be inspected for proper installation prior to backfilling. Contact Mr. Keith Anderson, County Maintenance Engineer, at (910) 893-4020 for inspection. Please provide at least 24 hours advance notice for inspection.**
- Any drainage pipe shall be constructed with Division 3 of the latest NCDOT Standard Specifications for Roads and Structures and Amendments or Supplementals thereto and shall bear the stamp of approval by the NCDOT Materials and Tests Unit.
- Trenching, bore pits and/or other excavations shall not be left overnight. The contractor shall comply with all OSHA requirements and provide a competent person on site to supervise excavation at all times.
- Excavated areas adjacent to pavement having more than a 2" drop shall be safed up at a 6:1 or flatter slope and designated by appropriate delineation during periods of inactivity, including, but not limited to, night and weekend hours. Excavated material shall not be placed on the roadway at any time.

Pavement Markings, Markers and Signing

- The Permittee shall be responsible for the removal, relocation, and / or installation of all pavement markings and NCDOT signs within the limits affected by the development. Pavement marking and signing plans shall be submitted to the District Engineer for approval prior to the installation of any signs and/or pavement markings.
- The Permittee has been approved to use NCDOT approved ~~waterborne paint for all pavement markings (edge lines, lane lines and centerlines) on SR 2272 (Brown Street) and thermoplastic pavement markings for all pavement markings (edge lines, lane lines and centerlines) and non-snowplowable markers on SR 2272 (Brown Street).~~ (The use of waterborne paint or thermoplastic pavement markings is to be determined according to the location of the site and AADT of the roadway).
- Pavement marking and marker changes shall be accomplished by completely covering the lines by means of asphalt overlaying or by an approved method of grinding. **In no case shall the application of liquid asphalt "tack" be accepted as an approved method for covering pavement markings.**
- All work performed under this section shall meet standards outlined in the current *Manual on Uniform Traffic Control Devices* (MUTCD) published by the Federal Highway Administration, NCDOT Supplement to the MUTCD, and the latest edition of the NCDOT *Roadway Standard Drawings*.
- The pavement marking contractor is required to have at least one member of every pavement marking crew that is working on the project, preferably the Crew Supervisor, be certified through the NCDOT Pavement Marking Technician Certification Process. For more information please contact the **Work Zone Traffic Control Unit** at (919) 773-2800 or <http://www.ncdot.org/doh/preconstruct/wztc/>
- Prior to installing pavement markings, please contact Mr. Frank West, Division Traffic Engineer, shall be notified at (910) 364-0606 with the NCDOT Division Six Traffic Services Unit to review the proposed pavement-marking layout. This notification should take place a minimum of 48 hours in advance of the pavement marking installation.
- Failure to contact the Traffic Services Unit to review the pavement-marking layout prior to installation may result in the removal and reinstallation of the markings at the expense of the Permittee.

If additional information is required, please contact Mr. Lee R. Hines Jr., (Richie), PE, District Engineer, at (910) 364-0601.

Sincerely,


Lee R. Hines Jr. (Richie), PE
District Engineer

LRH:ecl

cc: Mr. Greg W. Burns, PE, Division Engineer
Mr. Keith Anderson, Highway Maintenance Engineer

TRAFFIC CONTROL AND WORK ZONE SAFETY

The Contractor shall maintain traffic during construction and provide, install, and maintain all traffic control devices in accordance with these project guidelines, the Project Special Provisions, North Carolina Department of Transportation Standard Specifications for Roads and Structures 2018, and the current edition of the Manual of Uniform Traffic Control Devices (MUTCD).

The Contractor shall utilize complete and proper traffic controls and traffic control devices during all operations. All traffic control and traffic control devices required for any operation shall be functional and in place prior to the commencement of that operation. Signs for temporary operations shall be removed during periods of inactivity. The Contractor is required to leave the project in a manner that will be safe to the traveling public and which will not impede motorists.

Traffic movements through lane closures on roads with two way traffic shall be controlled by flaggers stationed at each end of the work zone. In situations where sight distance is limited, the Contractor shall provide additional means of controlling traffic, including, but not limited to, two-way radios, pilot vehicles, or additional flaggers. Flaggers shall be competent personnel, adequately trained in flagging procedures, and furnished with proper safety devices and equipment, including, but not limited to, safety vests and stop/slow paddles.

All personnel when working in traffic areas or areas in close proximity to traffic shall wear an approved safety vest, or shirt or jacket which meets the color requirements of the Manual of Uniform Traffic Control Devices (MUTCD).

The Contractor shall comply with all applicable Federal, State, and local laws, ordinances, and regulations governing safety, health, and sanitation, and shall provide all safeguards, safety devices, and protective equipment, and shall take any other needed actions, on his own responsibility that are reasonably necessary to protect the life and health of employees on the job and the safety of the public, and to protect property in connection with the performance of the work covered by the contract.

Failure to comply with any of the requirements for safety and traffic control of this contract shall result in suspension of work as provided in subarticle 108-7(2) of the Standard Specifications.

SPECIFICATIONS FOR EROSION CONTROL

The Contractor shall seed all disturbed areas as directed by the Engineer, in accordance with Section 1660 of the Standard Specifications. Seeding and mulching shall immediately follow shoulder construction operations and in no case shall shoulder construction operations exceed seeding and mulching operations by more than two weeks without written permission of the Engineer. Failure to meet this requirement shall be cause to cease all operations until it can be met.

Seeding and Mulching: (East)

The kinds of seed and fertilizer, and the rates of application of seed, fertilizer, and limestone, shall be as stated below. During periods of overlapping dates, the kind of seed to be used shall be determined by the Engineer. All rates are in pounds per acre.

The kinds of seed and fertilizer, and the rates of application of seed, fertilizer, and limestone, shall be as stated below. During periods of overlapping dates, the kind of seed to be used shall be determined. All rates are in pounds per acre.

All Roadway Areas

March 1 - August 31		September 1 - February 28	
50#	Tall Fescue	50#	Tall Fescue
10#	Centipede	10#	Centipede
25#	Bermudagrass (hulled)	35#	Bermudagrass (unhulled)
500#	Fertilizer	500#	Fertilizer
4000#	Limestone	4000#	Limestone

Waste and Borrow Locations

March 1 - August 31		September 1 - February 28	
75#	Tall Fescue	75#	Tall Fescue
25#	Bermudagrass (hulled)	35#	Bermudagrass (unhulled)
500#	Fertilizer	500#	Fertilizer
4000#	Limestone	4000#	Limestone

Note: 50# of Bahiagrass may be substituted for either Centipede or Bermudagrass only upon Engineer's request.

Approved Tall Fescue Cultivars

2 nd Millennium	Duster	Magellan	Rendition
Avenger	Endeavor	Masterpiece	Scorpion
Barlexas	Escalade	Matador	Shelby
Barlexas II	Falcon II, III, IV & V	Matador GT	Signia
Barrera	Fidelity	Millennium	Silverstar
Barrington	Finesse II	Montauk	Southern Choice II
Biltmore	Firebird	Mustang 3	Stetson
Bingo	Focus	Olympic Gold	Tarheel
Bravo	Grande II	Padre	Titan Ltd
Cayenne	Greenkeeper	Paraiso	Titanium
Chapel Hill	Greystone	Picasso	Tomahawk
Chesapeake	Inferno	Piedmont	Tacer
Constitution	Justice	Pure Gold	Trooper
Chipper	Jaguar 3	Prospect	Turbo
Coronado	Kalahari	Quest	Ultimate
Coyote	Kentucky 31	Rebel Exeda	Watchdog
Davinci	Kitty Hawk	Rebel Sentry	Wolfpack
Dynasty	Kitty Hawk 2000	Regiment II	
Dominion	Lexington	Rembrandt	

On cut and fill slopes 2:1 or steeper Centipede shall be applied at the rate of 5 pounds per acre and add 20# of Sericea Lespedeza from January 1 - December 31.

Fertilizer shall be 10-20-20 analysis. A different analysis of fertilizer may be used provided the 1-2-2 ratio is maintained and the rate of application adjusted to provide the same amount of plant food as a 10-20-20 analysis and as directed.

All areas seeded and mulched shall be tacked with asphalt. Crimping of straw in lieu of asphalt tack shall not be allowed on this project.

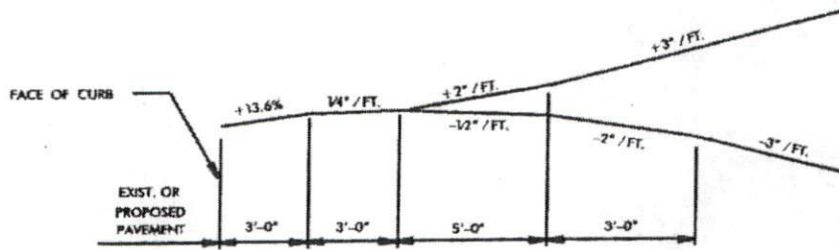
CRIMPING STRAW MULCH

Crimping shall be required on this project adjacent to any section of roadway where traffic is to be maintained or allowed during construction. In areas within six feet of the edge of pavement, straw is to be applied and then crimped. After the crimping operation is complete, an additional application of straw shall be applied and immediately tacked with a sufficient amount of undiluted emulsified asphalt.

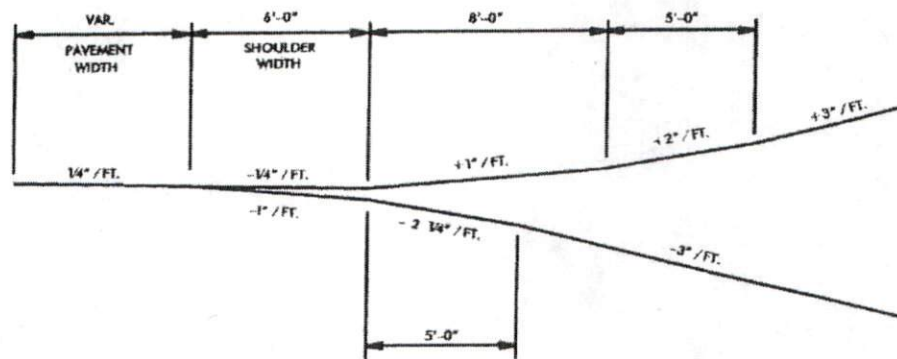
Straw mulch shall be of sufficient length and quality to withstand the crimping operation.

Crimping equipment including power source shall be subject to the approval of the Engineer providing that maximum spacing of crimper blades shall not exceed 8".

Within seven (7) calendar days to fourteen (14) calendar days of completion of any phase of grading, all disturbed areas shall be planted or otherwise provided with temporary or permanent ground cover, devices, or structures sufficient to restrain erosion. The Erosion and Sediment Control plan will identify the areas that require seven (7) and/or fourteen (14) calendar day ground stabilization. The Contractor is herein advised to follow all current regulations set forth by the North Carolina Department of Environment and Natural Resources (NCDENR) Division of Water Quality (DWQ) as defined in the *General Stormwater Permit for Construction Activities NCG-010000*.



A. CURB & GUTTER SECTION



B. SHOULDER SECTION

FIGURE 6

DRIVEWAY TURNOUT GRADES

Print this page



Property Description:

LT#2&4 CHARLES F CATES MAP#2006-278

Harnett County GIS

PID: 080654 0011

PIN: 0654-52-4029.000

REID: 0006266

Subdivision:

Taxable Acreage: 0.850 AC ac

Caclulated Acreage: 0.84 ac

Account Number: 1400025986

Owners: RHODES MICHAEL R & RHODES ANGELA W

Owner Address : 1013 WAGSTAFF ROAD FUQUAY-VARINA, NC 27526-0000

Property Address: 9063 US 401 N FUQUAY VARINA, NC 27526

City, State, Zip: FUQUAY VARINA, NC, 27526

Building Count: 1

Township Code: 08

Fire Code:

Parcel Building Value: \$59920

Parcel Outbuilding Value : \$1000

Parcel Land Value : \$37030

Parcel Special Land Value : \$0

Total Value : \$97950

Parcel Deferred Value : \$0

Total Assessed Value : \$97950

Neighborhood: 00801

Actual Year Built: 1946

TotalAcutalAreaHeated: 1937 Sq/Ft

Sale Month and Year: 5 / 2006

Sale Price: \$100000

Deed Book & Page: 2220-0540

Deed Date: 2006/05/01

Plat Book & Page: 2006-0278

Instrument Type: WD

Vacant or Improved:

QualifiedCode: Y

Transfer or Split: T

Prior Building Value: \$69730

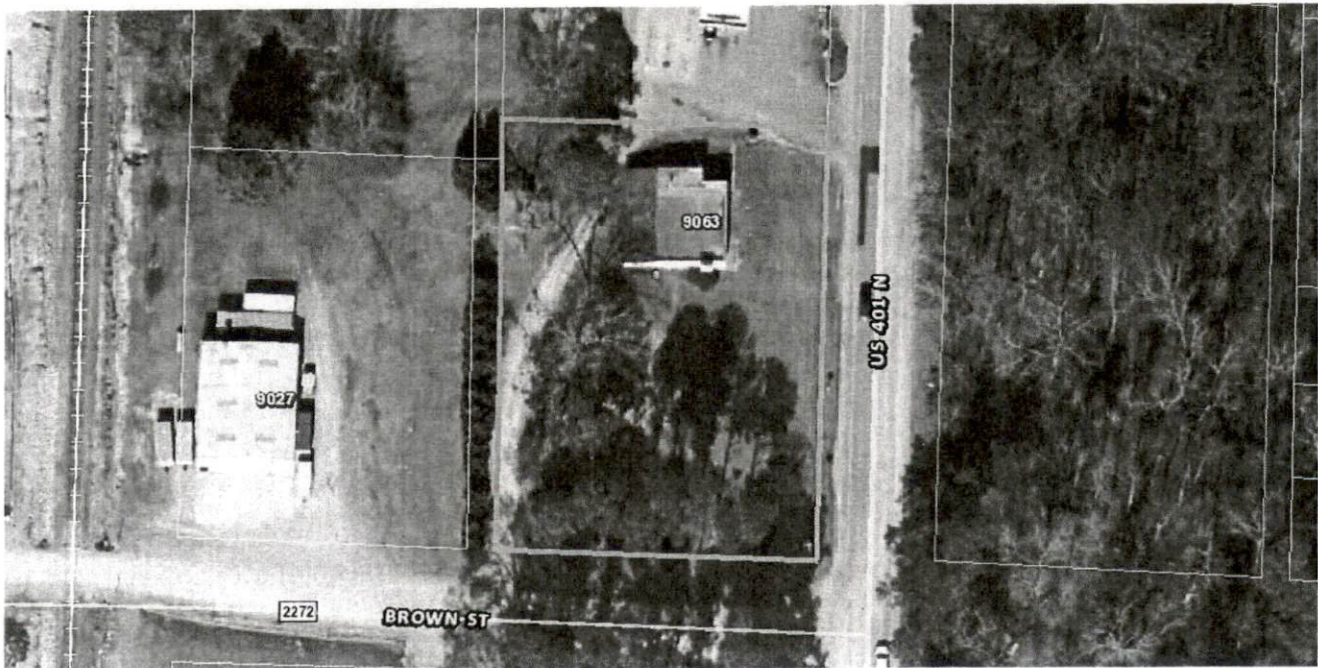
Prior Outbuilding Value : \$1000

Prior Land Value : \$20000

Prior Special Land Value : \$0

Prior Deferred Value : \$0

Prior Assessed Value : \$90730



Print this page



Harnett
COUNTY
NORTH CAROLINA

Property Description:

LT#2&4 CHARLES F CATES
MAP#2006-278

Harnett County
GIS

PID: 080654 0011

PIN: 0654-52-4029.000

REID: 0006266

Subdivision:

Taxable Acreage: 0.850 AC ac

Caclulated Acreage: 0.84 ac

Account Number: 1400025986

Owners: RHODES MICHAEL R & RHODES ANGELA W

Owner Address : 1013 WAGSTAFF ROAD FUQUAY-VARINA, NC 27526-0000

Property Address: 9063 US 401 N FUQUAY VARINA, NC 27526

City, State, Zip: FUQUAY VARINA, NC, 27526

Building Count: 1

Township Code: 08

Fire Code:

Parcel Building Value: \$59920

Parcel Outbuilding Value : \$1000

Parcel Land Value : \$37030

Parcel Special Land Value : \$0

Total Value : \$97950

Parcel Deferred Value : \$0

Total Assessed Value : \$97950

Neighborhood: 00801

Actual Year Built: 1946

TotalAcutalAreaHeated: 1937 Sq/Ft

Sale Month and Year: 5 / 2006

Sale Price: \$100000

Deed Book & Page: 2220-0540

Deed Date: 2006/05/01

Plat Book & Page: 2006-0278

Instrument Type: WD

Vacant or Improved:

QualifiedCode: Y

Transfer or Split: T

Prior Building Value: \$69730

Prior Outbuilding Value : \$1000

Prior Land Value : \$20000

Prior Special Land Value : \$0

Prior Deferred Value : \$0

Prior Assessed Value : \$90730

Generating Map...