



Harnett
C O U N T Y
NORTH CAROLINA

Pre-Development Info Sheet

Harnett County, North Carolina

Planning Department

108 E. Front Street/P.O. Box 65, Lillington, NC 27546

Phone: (910) 893-7525; opt. 4/Fax: (910) 814-6459

Date of Meeting 7.24.10 @ 10:30A

Development Name: Biscuitville

Development Type:

Major Subdivision Preliminary Plan/Plat

Commercial Site Plan

Major Subdivision Final Plan/Plat

Multi-Family Site Plan

Applicant Information

Owner of Record:

Name: Ralph Huff Holdings, LLC

Address: 2919 Breezewood Avenue

City/State/Zip: Fayetteville NC 28314

E-mail: _____

Phone: _____

Fax: _____

Mobile: _____

Developer/Engineer/Surveyor:

Name: Commercial Site Design

Address: 8312 Creedmoor Road

City/State/Zip: Raleigh, NC 27613

E-mail: watson@csitedesign.com and

pudwill@csitedesign.com

Phone: 919-848-6121

Fax: _____

Mobile: 919-418-04715 and 919-500-1122

Property Description

PIN(s): 9584-87-9951.000 Address: unknown Acreage: 0.99 Lots: Lot 5B, Northgate

Zoning: Commercial with Highway Corridor Overlay and Military Corridor Overlay

Project Description:

Construction of restaurant with drive-thru with associated parking, utilities, lighting and signage. Site is included in overall stormwater management per Mike Lawyer, NC DMLR, with allocation of 33,106 square feet of impervious area. Development will use existing driveways for development to west.

Specific Departments needed/ requested to attend:

Building Inspections - (910)893-7525, x3

E911/ Addressing - (910)814-2038

Engineering - (910)893-7555

Environmental Health - (910)893-7547

Fire Marshall - (910)893-7580

Planning - (910)893-7525, x4

Public Utilities Department - (910)893-7575

If possible, we would like NCDOT to also attend.

*Commercial
water/sewer
I All*

Donna Johnson

From: Ray Watson <watson@csitedesign.com>
Sent: Monday, July 16, 2018 12:38 PM
To: Donna Johnson
Subject: pre-dev info Lot 5b Northgate (BIS-1803)
Attachments: 2018-07-16 Pre-Dev info sheet_DRB - new schedule.pdf; 2018-04-26 BIS-1803 Preliminary Site Plan #3.pdf; plat.pdf

Ms. Johnson

Per Mr. Sikes email, attached is the application, a preliminary site layout and a copy of the plat. I was not sure if the one month lead time applied to pre-development meetings or not and if pre-submittal meetings followed the DRB schedule or not.

Wade Pudwill is our office will be the Project Manager for this location, Mr. Pudwill is out of the office this week and requested I try to schedule the pre-submittal meeting for as soon as practical.

Biscuitville is evaluating the double drive through lane concept and may not use that at this location, but the other site layout information would still apply.

Please call or email if you have questions on the application or other information.

Ray Watson, Project Engineer
COMMERCIAL SITE DESIGN
Watson@csitedesign.com
Direct: 919-398-6541
Cell: 919-418-4715
Main: 919-848-6121

From: Jay Sikes [mailto:jsikes@harnett.org]
Sent: Monday, July 16, 2018 10:55 AM
To: Ray Watson <watson@csitedesign.com>
Cc: Donna Johnson <djohnson@harnett.org>
Subject: pre-dev info

Ray.....attached is an application that can be used when sending info into Donna for a pre-dev meeting.

Donna....can you work with Mr Watson on a good date for a pre-dev mtg concerning his commercial project?

Please let us know if more info is needed.

Thank you,

Jay Sikes, CFM
Manager of Planning Services
Harnett County Development Services
108 E. Front St
PO Box 65

Lillington, NC 27546
910-893-7525, x4
910-814-6418
910-814-6459 (fax)
www.harnett.org/planning

Harnett GIS

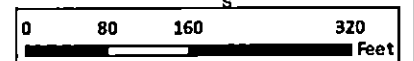
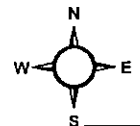
NOT FOR LEGAL USE



GIS/E-911 Addressing

April 20, 2018

Fire Hydrants	StepFM	County Water Mains	6 - 20	Lillington Water Mains
Force Main	Sewer Main	2 - 5	Coats Water Mains	1 - 5
Gravity	Force Main	6 - 36	2 - 5	6 - 12
Service Laterals	Lillington Sewer	Angier Water Mains	6 - 12	
		2 - 5		



1 inch = 188 feet

3000 # prototype

117' w x

close @ 2pm

submit Sept.

=> screening - match bldg.
metal same color
maemide, white
copper

Banks

will need to move ^{bldg} side

lot over. too close to drive.

14' w/ roll curb

signage for not blocking etc

Gay

confirm subbacks

no landscape buffer on corner side

15' buffer

pkg 1/4 seats 1/2 employees

23 seats - min

39 pk

2 handi.

no permits till land recorded after records.

BT overlay

* will send renderings of screening
to Gay

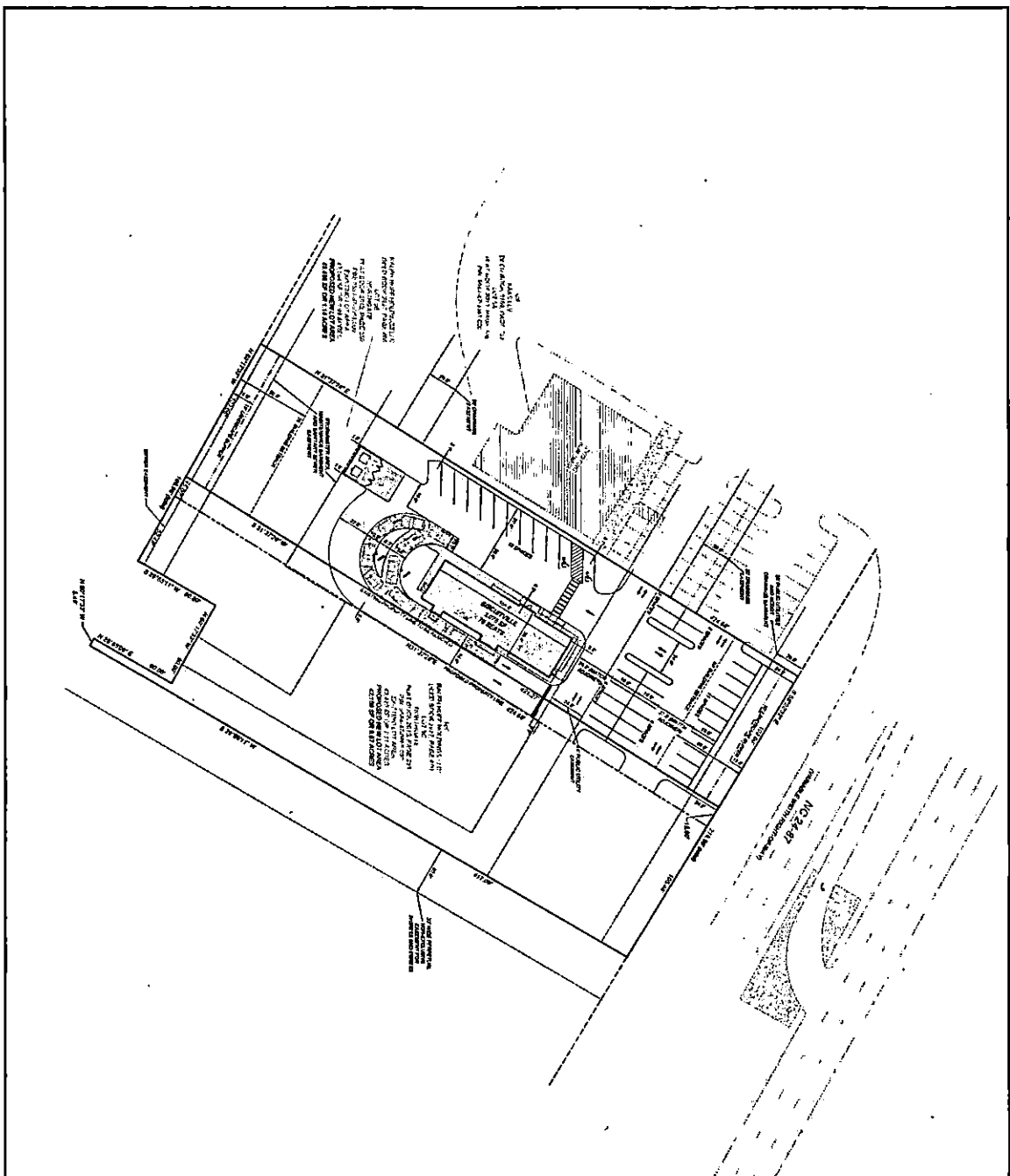
Mr. Watson + 3

Banks

Brad

Gay

Anna



NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE CURB UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE SIDEWALK UNLESS OTHERWISE NOTED.
 7. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRIVEWAY UNLESS OTHERWISE NOTED.
 8. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE LOT UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE BLOCK UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE TRACT UNLESS OTHERWISE NOTED.
 11. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE COUNTY UNLESS OTHERWISE NOTED.
 12. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE STATE UNLESS OTHERWISE NOTED.
 13. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE NATION UNLESS OTHERWISE NOTED.
 14. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE UNIVERSE UNLESS OTHERWISE NOTED.

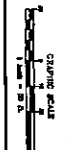
DISCUTVILLE
 NC 24 - 87
 CAMERON, NORTH CAROLINA
PRELIMINARY SITE PLAN #3

CLIENT:
 DISCUTVILLE
 1514 YANCEYVILLE STREET
 SUITE 300
 GREENSBORO, NC 27405

COMMERCIAL SITE DESIGN
 610 WEST BROADWAY
 GREENSBORO, NORTH CAROLINA 27405
 P.O. BOX 11111
 GREENSBORO, NORTH CAROLINA 27402
 WWW.COMMERCIALSITEDESIGN.COM

REVISIONS

NO.	DATE	DESCRIPTION	BY



PSP-3

Sept 20

Freeze only accessible from
inside
sealing color match
bdg.

great
V m
H/S
App

! finished sign
15 (use) for color
no parents

design in sign language
NC language make sure

preconstruction

3:10
side
review

Change
state plan
Clear use

