

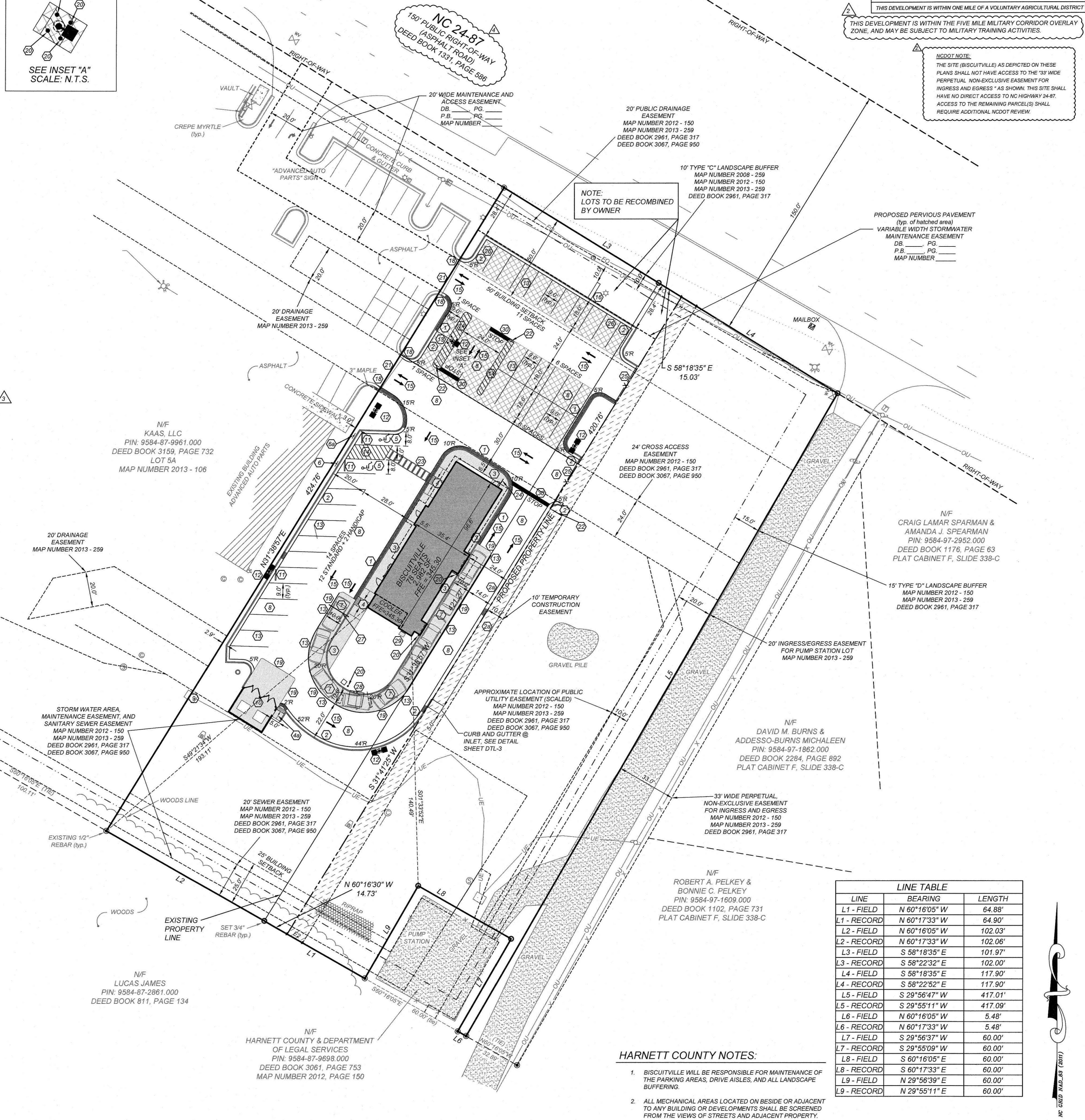
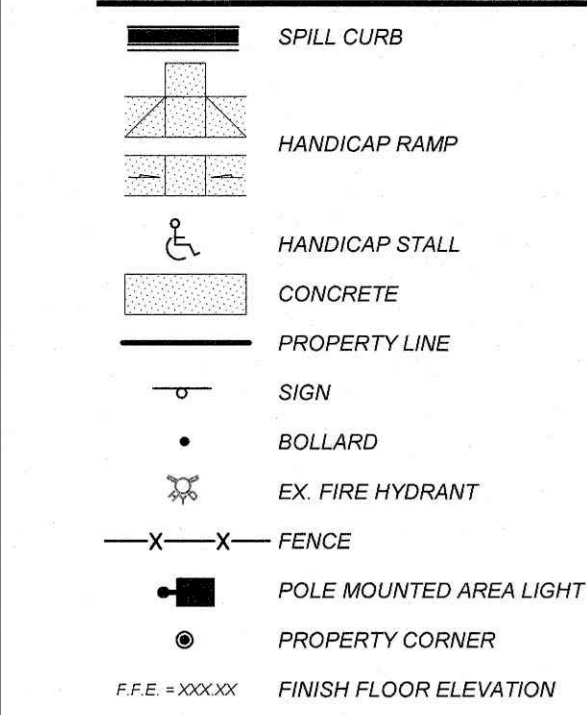
SITE INFORMATION	
TOTAL SITE AREA:	40,399 SF OR 1.13 ACRES (WITH ADDITIONAL 10')
TOWNSHIP:	ANDERSON CREEK
LAND USE CLASSIFICATION:	COMPACT MIXED USE
NC 87 IS ON THE HARNETT COUNTY COMPREHENSIVE TRANSPORTATION PLAN	
THIS DEVELOPMENT IS WITHIN ONE MILE OF A VOLUNTARY AGRICULTURAL DISTRICT	
<p>NC DOT NOTE:</p> <p>THE SITE (BISCUITVILLE) AS DEPICTED ON THESE PLANS SHALL NOT HAVE ACCESS TO THE 30' WIDE PERPETUAL, NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS AS SHOWN. THIS SITE SHALL HAVE NO DIRECT ACCESS TO NC HIGHWAY 24-87. ACCESS TO THE REMAINING PARCELS SHALL REQUIRE ADDITIONAL NC DOT REVIEW.</p>	

- GENERAL NOTES:**
- THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 PHONE: (919) 848-6121
  - THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
  - ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
  - PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
  - THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
  - CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
  - ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
  - CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
  - ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
  - DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
  - THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
  - THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
  - GENERAL CONTRACTOR WILL ERECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATION. COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE.
  - FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
  - CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
  - ALL RADI DIMENSIONS ARE TO FACE OF CURB.
  - ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
  - ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
  - ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDED AND MULCHED WITHIN SEVEN (7) DAYS.
  - THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR SHALL CONTACT NC 811 AT 1800-632-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
  - ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
  - COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
  - THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
  - BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
  - ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
  - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
  - ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
  - ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO NC DMLR REGULATIONS AND STANDARD PRACTICES.
  - ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS.
  - ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
  - IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR IRRIGATION SYSTEM.
  - CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

**SITE KEYNOTES:**

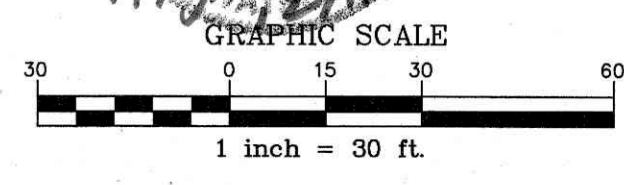
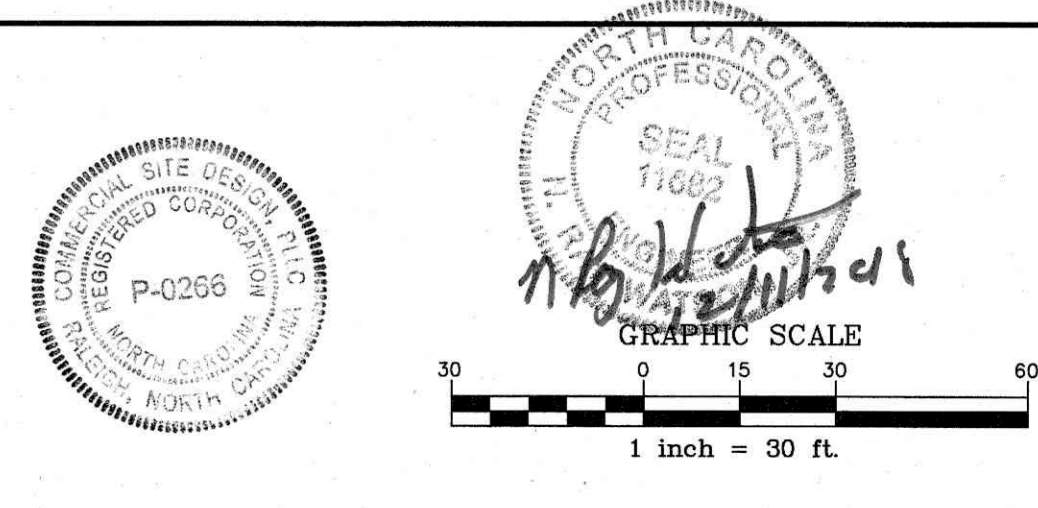
- CONSTRUCT 2.0' CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT 2.0' CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT CONCRETE MOUNTABLE CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET
- CONSTRUCT CONCRETE HANDICAP RAMP PER DETAIL SHEET
- CONSTRUCT CONCRETE @ DUMPSTER PER DETAIL SHEET
- HANDICAP PARKING STALL
- INSTALL HANDICAP PARKING SIGN PER DETAIL SHEET
- INSTALL HANDICAP PARKING SIGN "VAN ACCESSIBLE" PER DETAIL SHEET
- CONCRETE PAVEMENT PER DETAIL SHEET
- ASPHALT PAVEMENT PER DETAIL SHEET
- EXISTING TRANSFORMER PAD, PER ELECTRIC COMPANY SPECIFICATIONS, (COORDINATE REUSE WITH UTILITY COMPANY)
- CONSTRUCT DUMPSTER PAD AND TRASH ENCLOSURE WITH GATES SOLID WALLS AND, SEE ARCHITECTURAL SHEETS FOR DETAIL AND SCREENING SEE SOILS REPORT FOR DUMPSTER PAD SPECIFICATIONS
- CONCRETE WHEEL STOP PER DETAIL SHEET
- POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN. NOTE: LIGHT BASES ARE 24" DIAMETER, 2'-4" FROM PROPERTY LINE TO BACK OF CURB
- PAINT 4" WIDE STRIPE, WHITE
- PAINT 4" WIDE STRIPE @ 45°, 2 FEET APART
- PAINT TRAFFIC ARROWS PER DETAIL SHEET
- SITE IDENTIFICATION SIGN, 10' OFF OVERHEAD LINES AND MINIMUM 10' OFF NC DOT RIGHT-OF-WAY. SIGNAGE IS AN ADDITIONAL REVIEW.
- OMITTED
- MATCH EXISTING CURB & GUTTER
- ASPHALT/CONCRETE TRANSITION PER DETAIL
- INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
- MATCH EXISTING ASPHALT PAVEMENT
- INSTALL "STOP" SIGN PER MUTCD & NC DOT STANDARD
- PAINT CROSSWALK PER DETAIL SHEET
- RAIL, SEE ARCHITECTURAL PLANS
- BARRICADE PER DETAIL SHEET
- PERMABLE CONCRETE PAVEMENT, SEE DETAIL SHEET
- CLEARANCE BAR
- MENU BOARD VERIFY LOCATION WITH BISCUITVILLE FIELD REPRESENTATIVE PRIOR TO INSTALLATION
- 3' X 3' CONCRETE PAD AT ROOF LADDER, SEE ARCHITECTURAL PLANS FOR LOCATIONS
- PAINTED 24" STOP & TEXT BAR PER MUTCD & NC DOT STANDARD

**SITE LEGEND**



LINE	BEARING	LENGTH
L1 - FIELD	N 60°16'05" W	64.88'
L1 - RECORD	N 60°17'33" W	64.90'
L2 - FIELD	N 60°16'05" W	102.03'
L2 - RECORD	N 60°17'33" W	102.06'
L3 - FIELD	S 58°18'35" E	101.97'
L3 - RECORD	S 58°22'32" E	102.00'
L4 - FIELD	S 58°18'35" E	117.90'
L4 - RECORD	S 58°22'52" E	117.90'
L5 - FIELD	S 29°56'47" W	417.01'
L5 - RECORD	S 29°55'11" W	417.09'
L6 - FIELD	N 60°16'05" W	5.48'
L6 - RECORD	N 60°17'33" W	5.48'
L7 - FIELD	S 29°56'37" W	60.00'
L7 - RECORD	S 29°55'09" W	60.00'
L8 - FIELD	S 60°16'05" E	60.00'
L8 - RECORD	S 60°17'33" E	60.00'
L9 - FIELD	N 29°56'39" E	60.00'
L9 - RECORD	N 29°55'11" E	60.00'

- HARNETT COUNTY NOTES:**
- BISCUITVILLE WILL BE RESPONSIBLE FOR MAINTENANCE OF THE PARKING AREAS, DRIVE AISLES, AND ALL LANDSCAPE BUFFERING.
  - ALL MECHANICAL AREAS LOCATED ON BESIDE OR ADJACENT TO ANY BUILDING OR DEVELOPMENTS SHALL BE SCREENED FROM THE VIEWS OF STREETS AND ADJACENT PROPERTY.



NO.	DATE	DESCRIPTION
1	10-18-2018	REVISIONS
2	11-02-2018	COUNTY & DMLR COMMENTS
3	12-05-2018	HCDFU COMMENTS
4	12-11-2018	REVISE ROAD NAME

**COMMERCIAL SITE DESIGN**

892 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27613

(919) 848-6121 FAX: (919) 848-5741  
WWW.CSITDESIGN.COM

**Biscuitville, Inc.**  
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GREENSBORO, NC 27405  
PHONE: (919) 740-7401  
EMAIL: nqueen@biscuitville.com

**Biscuitville**  
FRESH & SOUTHERN

1608 NC 24-87  
CAMERON, NORTH CAROLINA 28326

PROJECT NO.	BIS-1803
FILENAME	BIS1803-SP
DRAWN BY	DDH
SCALE	1" = 30'
DATE	07-23-18
SHEET NO.	C-2