



APPENDIX B

APPENDIX B  
BUILDING CODE SUMMARY  
FOR ALL COMMERCIAL PROJECTS  
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)  
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: 032-1588 McDonalds Spring Lake, NC  
Address: 6851 Overhills Rd Spring Lake, NC 28390  
Proposed Use: Restaurant  
Owner or Authorized Agent: Donny Rorschach Phone # 817-820-0433  
Owned By: City/County Private State  
Code Enforcement Jurisdiction: City County

LEAD DESIGN PROFESSIONAL: Donny Rorschach  
DESIGNER FIRM NAME LICENSE # TELEPHONE #  
Architectural Rogue Architects Donny Rorschach 8596 (817)8200433  
Civil David Day David Day 15588 (817)5560986  
Electrical \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_  
Fire Alarm \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_  
Plumbing \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_  
Mechanical \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_  
Sprinkler-Standpipe \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_  
Structural \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_  
Retaining Walls >5' High \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_  
Other \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_

YEAR EDITION OF CODE: 2012 IBC  
 New Construction  Renovation (Existing Bldg)  Upfit  Alteration

**BUILDING DATA**

Construction Type:  I-A  I-B  II-A  II-B  III-A  III-B  
 IV  V-A  V-B  V-C  
Mixed construction:  No  Yes Types \_\_\_\_\_

Sprinklers:  No  Yes  NFPA 13  NFPA 13R  NFPA 13D

Standpipes:  No  Yes Class  I  II  III  Wet  Dry

Fire District:  No  Yes

Building Height: \_\_\_\_\_ Feet  Number of Stories  Unlimited per \_\_\_\_\_

Mezzanine:  No  Yes

High Rise:  No  Yes Central Reference Sheet # (if provided) \_\_\_\_\_

**Gross Building Area:**

| FLOOR                 | EXISTING (SQ FT) | NEW (SQ FT) | SUB-TOTAL |
|-----------------------|------------------|-------------|-----------|
| 6 <sup>th</sup> Floor |                  |             |           |
| 5 <sup>th</sup> Floor |                  |             |           |
| 4 <sup>th</sup> Floor |                  |             |           |
| 3 <sup>rd</sup> Floor |                  |             |           |
| 2 <sup>nd</sup> Floor |                  |             |           |
| Mezzanine             |                  |             |           |
| 1 <sup>st</sup> Floor | 5,307            |             | 5,307     |
| Basement              |                  |             |           |
| TOTAL                 | 5,307            |             |           |

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ALLOWABLE AREA

Primary Occupancy:  Assembly  A-1  A-2  A-3  A-4  A-5  
 Business  Educational  Factory-Industrial  F-1  F-2  
 High-Hazard  I-1  I-2  I-3  I-4  I-5  
 Institutional  I-1  I-2  I-3  I-4  I-5  
 Mercantile  Use Condition  1  2  3  4  5  
 Residential  R-1  R-2  R-3  R-4  
 Storage  S-1  S-2  High-Rise  
 Utility and Miscellaneous  Parking Garage  Open  Enclosed  Repair

Secondary Occupancy:  508.2  508.3  508.4  508.5  508.6  508.7  508.8  
Mixed Occupancy:  No  Yes Separation: \_\_\_\_\_ Hr. Exception: \_\_\_\_\_

Non-Separated Mixed Occupancy (302.3.2)  
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

Separated Mixed Occupancy (302.3.3) - See below for area calculations  
For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

| STORY NO. | DESCRIPTION AND USE | (A) BLDG AREA PER STORY (ACTUAL) | (B) TABLE 503 <sup>1</sup> AREA | (C) AREA FOR OPEN SPACE INCREASE <sup>2</sup> | (D) AREA FOR SPINKLER INCREASE <sup>2</sup> | (E) ALLOWABLE AREA OR UNLIMITED | (F) MAXIMUM BUILDING AREA <sup>3</sup> |
|-----------|---------------------|----------------------------------|---------------------------------|---|---|---------------------------------|--|
|           |                     |                                  |                                 |   |   |                                 |  |
|           |                     |                                  |                                 |   |   |                                 |  |
|           |                     |                                  |                                 |   |   |                                 |  |
|           |                     |                                  |                                 |   |   |                                 |  |
|           |                     |                                  |                                 |   |   |                                 |  |
|           |                     |                                  |                                 |   |   |                                 |  |
|           |                     |                                  |                                 |   |   |                                 |  |
|           |                     |                                  |                                 |   |   |                                 |  |
|           |                     |                                  |                                 |   |   |                                 |  |
|           |                     |                                  |                                 |   |   |                                 |  |

- Open space area increases from Section 506.2 are computed thus:  
a. Perimeter which fronts a public way or open space having 20 feet minimum width = \_\_\_\_\_ (F)  
b. Total Building Perimeter = \_\_\_\_\_ (P)  
c. Ratio (F/P) = \_\_\_\_\_ (F/P)  
d. W = Minimum width of public way = \_\_\_\_\_ (W)  
e. Percent of frontage increase =  $I_p = 100 [(F/P) - 0.25] \times W/50 = \_\_\_\_\_\%$
- The sprinkler increase per Section 506.3 is as follows:  
a. Multi-story building  $L \leq 200$  percent  
b. Single story building  $L \leq 300$  percent
- Unlimited area applicable under conditions of Sections Group B, F, M, S, A-4 (507.1, 507.2, 507.3, 507.5); Group A motion picture (507.8); Malls (402.6); and I-2 aircraft paint hangers (507.6)
- Maximum Building Area = total number of stories in the building x E but not greater than 3 x E.
- The maximum area of parking garages must comply with 406.3.5. The maximum area of air traffic control towers must comply with 412.1.2.

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ALLOWABLE HEIGHT

| Type of Construction       | ALLOWABLE (TABLE 503)             | INCREASE FOR SPINKLERS | SHOWN ON PLANS      | CODE REFERENCE |
|----------------------------|-----------------------------------|------------------------|---------------------|----------------|
| Building Height in Feet    | Type _____ N/A                    |                        | Type _____          |                |
| Building Height in Stories | Feet _____ Feet + H + 20' = _____ |                        | Stories + 1 = _____ |                |
| TO REMAIN AS IS, N/A       |                                   |                        |                     |                |

FIRE PROTECTION REQUIREMENTS

Life Safety Plan Sheet #, if Provided N/A

| BUILDING ELEMENT                                      | FIRE SEPARATION DISTANCE (FEET) | RATING REQ'D (OR REDUCTION) | DETAIL # AND SHEET # | DESIGN # FOR RATED ASSEMBLY | DESIGN # FOR RATED PENETRATION | DESIGN # FOR RATED JOINTS |
|---|---------------------------------|-----------------------------|----------------------|-----------------------------|--------------------------------|---------------------------|
| Structural frame, including columns, girders, trusses | TO REMAIN AS IS, N/A            |                             |                      |                             |                                |                           |
| Bearing walls   |                                 |                             |                      |                             |                                |                           |
| Exterior  |                                 |                             |                      |                             |                                |                           |
| North   |                                 |                             |                      |                             |                                |                           |
| East  |                                 |                             |                      |                             |                                |                           |
| West  |                                 |                             |                      |                             |                                |                           |
| South   |                                 |                             |                      |                             |                                |                           |
| Interior  |                                 |                             |                      |                             |                                |                           |
| Nonbearing walls and partitions                       |                                 |                             |                      |                             |                                |                           |
| Exterior  |                                 |                             |                      |                             |                                |                           |
| North   |                                 |                             |                      |                             |                                |                           |
| East  |                                 |                             |                      |                             |                                |                           |
| West  |                                 |                             |                      |                             |                                |                           |
| South   |                                 |                             |                      |                             |                                |                           |
| Interior  |                                 |                             |                      |                             |                                |                           |
| Floor construction                                    |                                 |                             |                      |                             |                                |                           |
| Including supporting beams and joists                 |                                 |                             |                      |                             |                                |                           |
| Roof construction                                     |                                 |                             |                      |                             |                                |                           |
| Including supporting beams and joists                 |                                 |                             |                      |                             |                                |                           |
| Shafts - Exit   |                                 |                             |                      |                             |                                |                           |
| Shafts - Other  |                                 |                             |                      |                             |                                |                           |
| Corridor Separation                                   |                                 |                             |                      |                             |                                |                           |
| Occupancy Separation                                  |                                 |                             |                      |                             |                                |                           |
| Party/Fire Wall Separation                            |                                 |                             |                      |                             |                                |                           |
| Smoke Barrier Separation                              |                                 |                             |                      |                             |                                |                           |
| Tenant Separation                                     |                                 |                             |                      |                             |                                |                           |

\* Indicate section number permitting reduction  
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LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting:  No  Yes  
Exit Signs:  No  Yes TO REMAIN AS IS, N/A  
Fire Alarm:  No  Yes  
Smoke Detection Systems:  No  Yes  
Panic Hardware:  No  Yes

EXIT REQUIREMENTS

NUMBER AND ARRANGEMENT OF EXITS

| FLOOR, ROOM OR SPACE DESIGNATION | MINIMUM NUMBER OF EXITS |                | TRAVEL DISTANCE                            |                                       | ARRANGEMENT MEANS OF EGRESS <sup>1</sup> (SECTION 1004.1) |                                |
|----------------------------------|-------------------------|----------------|--|---------------------------------------|---|--------------------------------|
|                                  | REQUIRED                | SHOWN ON PLANS | ALLOWABLE TRAVEL DISTANCE (TABLE 1004.2.4) | ACTUAL TRAVEL DISTANCE SHOWN ON PLANS | REQUIRED DISTANCE BETWEEN EXITS                           | ACTUAL DISTANCE SHOWN ON PLANS |
| TO REMAIN AS IS, N/A             |                         |                |  |                                       |   |                                |
|                                  |                         |                |  |                                       |   |                                |
|                                  |                         |                |  |                                       |   |                                |
|                                  |                         |                |  |                                       |   |                                |

<sup>1</sup> Corridor dead ends (Section 1004.3.2.3)  
<sup>2</sup> Single exits (Table 1005.2.2)  
<sup>3</sup> Common Path of Travel (Section 1004.2.5)

EXIT WIDTH

| USE GROUP OR SPACE DESCRIPTION | AREA                          |   | EGRESS WIDTH PER OCCUPANT         |                                   | EXIT WIDTH (in) <sup>2,3,4,5,6</sup> |             |             |             |
|--------------------------------|-------------------------------|---|-----------------------------------|-----------------------------------|--------------------------------------|-------------|-------------|-------------|
|                                | (a) AREA <sup>1</sup> sq. ft. | (b) AREA <sup>1</sup> PER OCCUPANT (TABLE 1003.2.2) | (c) PER OCCUPANT (TABLE 1003.2.2) | REQUIRED WIDTH (SECTION 1003.2.3) | (a+b) x c                            | STAIR LEVEL | STAIR LEVEL | STAIR LEVEL |
| TO REMAIN AS IS, N/A           |                               |   |                                   |                                   |                                      |             |             |             |
|                                |                               |   |                                   |                                   |                                      |             |             |             |
|                                |                               |   |                                   |                                   |                                      |             |             |             |
|                                |                               |   |                                   |                                   |                                      |             |             |             |
|                                |                               |   |                                   |                                   |                                      |             |             |             |

<sup>1</sup> See Table 1003.2.2.2 to determine whether net or gross area is applicable.  
See definition "Area, Gross" and "Area, Net" (Section 1002)  
<sup>2</sup> Minimum stairway width (Section 1003.3.3); min. corridor width (Section 1004.3.2.2); min. door width (Section 1003.3.1)  
<sup>3</sup> Minimum width of exit passage way (Section 1005.3.3)  
<sup>4</sup> See Section 1003.2.2.7 for converging exits.  
<sup>5</sup> The loss of one means of egress shall not reduce the available capacity to less than 50 percent of the total required (Section 1003.2.3)  
<sup>6</sup> Assembly occupancies (Section 1008)

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STRUCTURAL DESIGN

DESIGN LOADS: TO REMAIN AS IS, N/A

Importance Factors: Wind (I<sub>w</sub>) N/A  
Snow (I<sub>s</sub>) \_\_\_\_\_  
Seismic (I<sub>e</sub>) \_\_\_\_\_

Live Loads: Roof N/A psf  
Mezzanine \_\_\_\_\_ psf  
Floor \_\_\_\_\_ psf

Snow Load: N/A psf

Wind Load: Basic Wind Speed N/A mph (ASCE-7-98)  
Exposure Category \_\_\_\_\_  
Wind Base Shears (for MWFRS) V<sub>x</sub> = \_\_\_\_\_ V<sub>y</sub> = \_\_\_\_\_

SEISMIC DESIGN CATEGORY A N/A  
Compliance with Section 1616.4 only?  Yes  No

SEISMIC DESIGN CATEGORY B, C, & D N/A  
Provide the following Seismic Design Parameters:  
Seismic Use Group \_\_\_\_\_  
Spectral Response Acceleration S<sub>us</sub> \_\_\_\_\_ %g S<sub>ul</sub> \_\_\_\_\_ %g  
Site Classification \_\_\_\_\_  
Basic structural system (check one)  
 Bearing Wall  Dual w/Special Moment Frame  
 Building Frame  Dual w/Intermediate R/C or Special Steel  
 Moment Frame  Inverted Pendulum  
Seismic base shear V<sub>k</sub> = \_\_\_\_\_ V<sub>y</sub> = \_\_\_\_\_  
Analysis Procedure \_\_\_\_\_  
Simplified Equivalent Lateral Force \_\_\_\_\_ Modal  
Architectural, Mechanical, Components anchored?

LATERAL DESIGN CONTROL: Earthquake \_\_\_\_\_ Wind \_\_\_\_\_

SOIL BEARING CAPACITIES:  
Field Test (provide copy of test report) \_\_\_\_\_ psf  
Presumptive Bearing capacity \_\_\_\_\_ psf  
Pile size, type, and capacity \_\_\_\_\_

PLUMBING FIXTURE REQUIREMENTS TO REMAIN AS IS

| OCCUPANCY | WATERCLOSETS |        | URINALS |   | LAVATORIES |        | SHOWERS/TUBS |   | DRINKING FOUNTAINS |            |
|-----------|--------------|--------|---------|---|------------|--------|--------------|---|--------------------|------------|
|           | MALE         | FEMALE | 1       | 2 | MALE       | FEMALE | 1            | 1 | REGULAR            | ACCESSIBLE |
| A         | 1            | 2      | 1       |   | 1          | 1      |              |   |                    |            |

ACCESSIBLE PARKING TO REMAIN AS IS

| LOT OR PARKING AREA | TOTAL # OF PARKING SPACES |          | # OF ACCESSIBLE SPACES PROVIDED      |   | TOTAL # ACCESSIBLE PROVIDED |
|---------------------|---------------------------|----------|--------------------------------------|---|-----------------------------|
|                     | REQUIRED                  | PROVIDED | REGULAR WITH <sup>1</sup> ACCESSIBLE | VAN SPACES WITH <sup>2</sup> ACCESSIBLE |                             |
| N/A                 |                           |          |                                      |   |                             |
| TOTAL               |                           |          |                                      |   |                             |

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SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, SBCCI, ICC, etc., describe below)  
N/A

ENERGY SUMMARY

ENERGY REQUIREMENTS: TO REMAIN AS IS, N/A  
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If energy cost budget method, state the annual energy cost budget vs allowable annual energy cost budget.

THERMAL ENVELOPE

Method of Compliance: N/A  
 Prescriptive  Performance  Energy Cost Budget

Roof/Ceiling Assembly (each assembly)  
Description of assembly  
U-Value of total assembly  
R-Value of insulation  
Skylights in each assembly  
U-Value of skylight  
total square footage of skylights in each assembly

Exterior Walls (each assembly)  
Description of assembly  
U-Value of total assembly  
R-Value of insulation  
Openings (windows or doors with glazing)  
U-Value of assembly  
shading coefficient  
projection factor  
low required, if applicable  
Door R-Values

Walls adjacent to unconditioned space (each assembly)  
Description of assembly  
U-Value of total assembly  
R-Value of insulation  
Openings (windows or doors with glazing)  
U-Value of assembly  
Low required, if applicable  
Door R-Values

Walls below grade (each assembly)  
Description of assembly  
U-Value of total assembly  
R-Value of insulation

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Floors over unconditioned space (each assembly)

Description of assembly  
U-Value of total assembly  
R-Value of insulation

Floors slab on grade

Description of assembly  
U-Value of total assembly  
R-Value of insulation  
Horizontal/vertical requirement  
slab heated

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT TO REMAIN AS IS, N/A

Method of Compliance: N/A  
 Prescriptive  Performance  Energy Cost Budget

Lighting schedule  
lamp type required in fixture  
number of lamps in fixture  
ballast type used in the fixture  
number of ballasts in fixture  
total wattage per fixture  
total interior wattage specified vs allowed  
total exterior wattage specified vs allowed

Equipment schedules with motors (not used for mechanical systems)  
motor horsepower  
number of phases  
minimum efficiency  
motor type  
# of poles

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT TO REMAIN AS IS

Method of Compliance  
 Prescriptive  Energy Cost Budget

Thermal Zone  
winter dry bulb  
summer dry bulb

Interior design conditions  
winter dry bulb  
summer dry bulb  
relative humidity

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Building heating load

Building cooling load

Mechanical Spacing Conditioning System  
Unitary  
description of unit  
heating efficiency  
cooling efficiency  
heat output of unit  
cooling output of unit  
Boiler  
total boiler output. If oversized, state reason.  
Chiller  
total chiller capacity. If oversized, state reason.

List equipment efficiencies

Equipment schedules with motors (mechanical systems)  
motor horsepower  
number of phases  
minimum efficiency  
motor type  
# of poles

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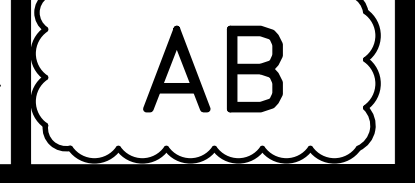


513 MAIN STREET, SUITE 300  
FORT WORTH, TEXAS 76102  
817.820.0433 o 817.705.3387 c

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|   |                                |                 |
|---|--------------------------------|-----------------|
| PROJECT NAME<br>McDonald's GSR-SAM MOD-A  | PROTOTYPE ISSUE DATE<br>2017   | REVIEWED<br>JAS |
| DESCRIPTION<br>EXISTING EXTERIOR WALLS TO REMAIN AS IS<br>EXISTING ROOF FRAMING MEMBERS TO REMAIN AS IS | FIRST ISSUE DATE<br>06/27/2018 |                 |

PROJECT NAME  
McDonald's GSR-SAM MOD-A  
DESCRIPTION  
EXISTING EXTERIOR WALLS TO REMAIN AS IS  
EXISTING ROOF FRAMING MEMBERS TO REMAIN AS IS  
SITE ID  
032-1588  
SITE ADDRESS  
6851 OVERHILLS RD, SPRING LAKE, NC 28390



**GENERAL DEMO PLAN NOTES:**

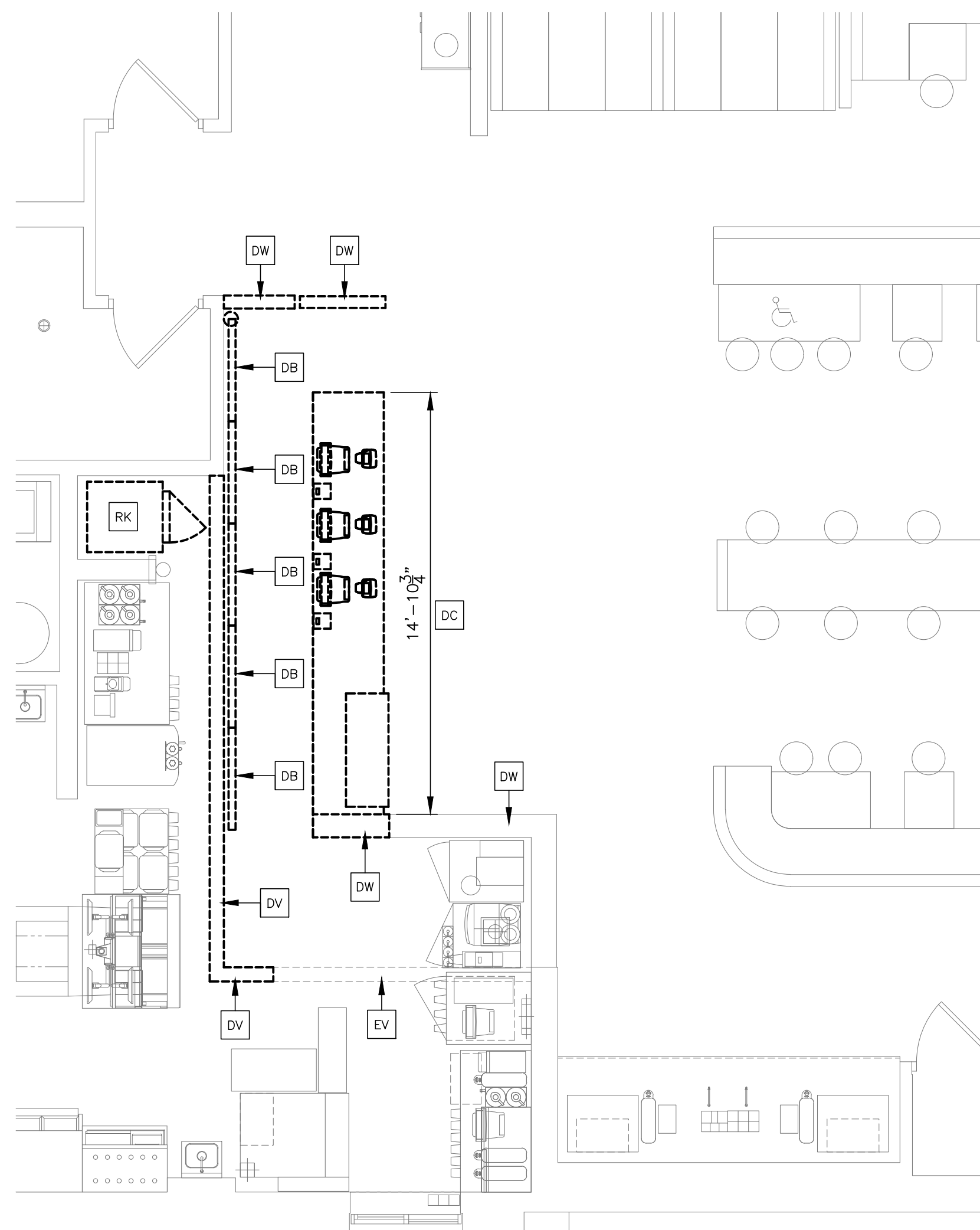
- A. THESE DRAWINGS WERE PREPARED BASED ON INFORMATION ATTAINED FROM A SITE SURVEY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION & NOTIFY THIS OFFICE IN CASE OF DISCREPANCIES ASAP. DEMOLITION IS TO BE EXECUTED SO AS NOT TO DISTURB EXISTING
- B. STRUCTURAL & ROOFING SYSTEMS, AND OTHER AREAS THAT ARE INTENDED TO REMAIN INTACT, VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT INTEGRAL TO STRUCTURAL SYSTEM PRIOR TO DEMOLITION.
- C. DEMOLITION CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK, BY THE ACT OF STARTING DEMOLITION, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING, TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE THE NECESSARY ALLOWANCES IN PREPARING HIS BID.
- D. ALL DIMENSIONS SHOWN AS EXISTING SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO DEMOLITION. VERIFY ALL DEMOLITION WORK WITH NEW CONSTRUCTION & INSTALLATION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
- E. REFER TO ELECTRICAL DRAWINGS FOR DETAILED ELECTRICAL DEMOLITION NOTES.
- F. VERIFY DISPOSITION OF ALL FURNISHINGS, MILLWORK, LIGHTING FIXTURES, ETC... TO BE REMOVED WITH OWNER. ALL ITEMS TO BE DISPOSED SHALL BE DISPOSED OF OFF-SITE AND IN AN EXPEDITIOUS MANNER.
- G. SAWCUT & REMOVE EXISTING SLABS AS REQUIRED FOR UNDERGROUND ELECTRICAL & PLUMBING LINES, REFER TO PLUMBING, ELECTRICAL, & KITCHEN DRAWINGS FOR ALL SAWCUTS & TRENCHING WORK REQUIRED, ALL CONCRETE FLOOR WORK TO BE FINISHED FLUSH WITH EXISTING FLOOR. DOWEL NEW SLABS TO EXISTING WITH #4 REBAR @ 24" O.C. EACH SIDE (STAGGERED). REBAR TO EXTEND 6" INTO EXISTING SLAB & ACROSS CUT OPENING. SECURE REBAR INTO EXISTING SLAB WITH EPOXY GROUT. REPLACE OR REPAIR ANY VAPOR BARRIERS DISTURBED DURING EXCAVATIONS.
- H. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY OF THE EXISTING STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
- I. REMOVE ANY SINKS, WATER CLOSETS, URINALS, LAVATORIES, FLOOR DRAINS, NOTED ON DRAWINGS AS WELL AS ALL ASSOCIATED PLUMBING ACCESSORIES. CAP & PLUG ALL ABANDONED SUPPLY & WASTE LINES, PATCH & SEAL ALL FLOOR PENETRATIONS. SEE MECHANICAL & PLUMBING DRAWINGS FOR DETAILED DEMOLITION NOTES.
- J. WHEN UTILITIES ARE REMOVED, CAP & SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 6" ABOVE FINISH CEILING.

**KEYED DEMO PLAN NOTES:**

- DB** EXISTING DIGITAL MENU BOARDS TO BE RELOCATED. GC TO REFERENCE A1.0 FOR NEW LOCATION.
- DC** DEMO EXISTING COUNTER. PATCH AND REPAIR SURROUNDING AREAS TO MAKE READY FOR NEW.
- EV** EXISTING VALANCE TO REMAIN.
- DW** EXISTING WALLS AND WINDOWS TO BE REMOVED, AS INDICATED, PATCH AND REPAIR SURROUNDING AREAS TO MAKE READY FOR NEW.
- DS** REMOVE EXISTING DROPPED SOFFIT ABOVE. PATCH AND REPAIR SURROUNDING AREAS TO MAKE READY FOR NEW.
- RK** EXISTING KITCHEN EQUIPMENT TO BE RELOCATED.
- DV** DEMO EXISTING VALANCE. PATCH AND REPAIR SURROUNDING AREAS TO MAKE READY FOR NEW.
- FS** EXISTING FIRE SPRINKLER HEAD TO REMAIN. GC TO VERIFY EXACT LOCATION.

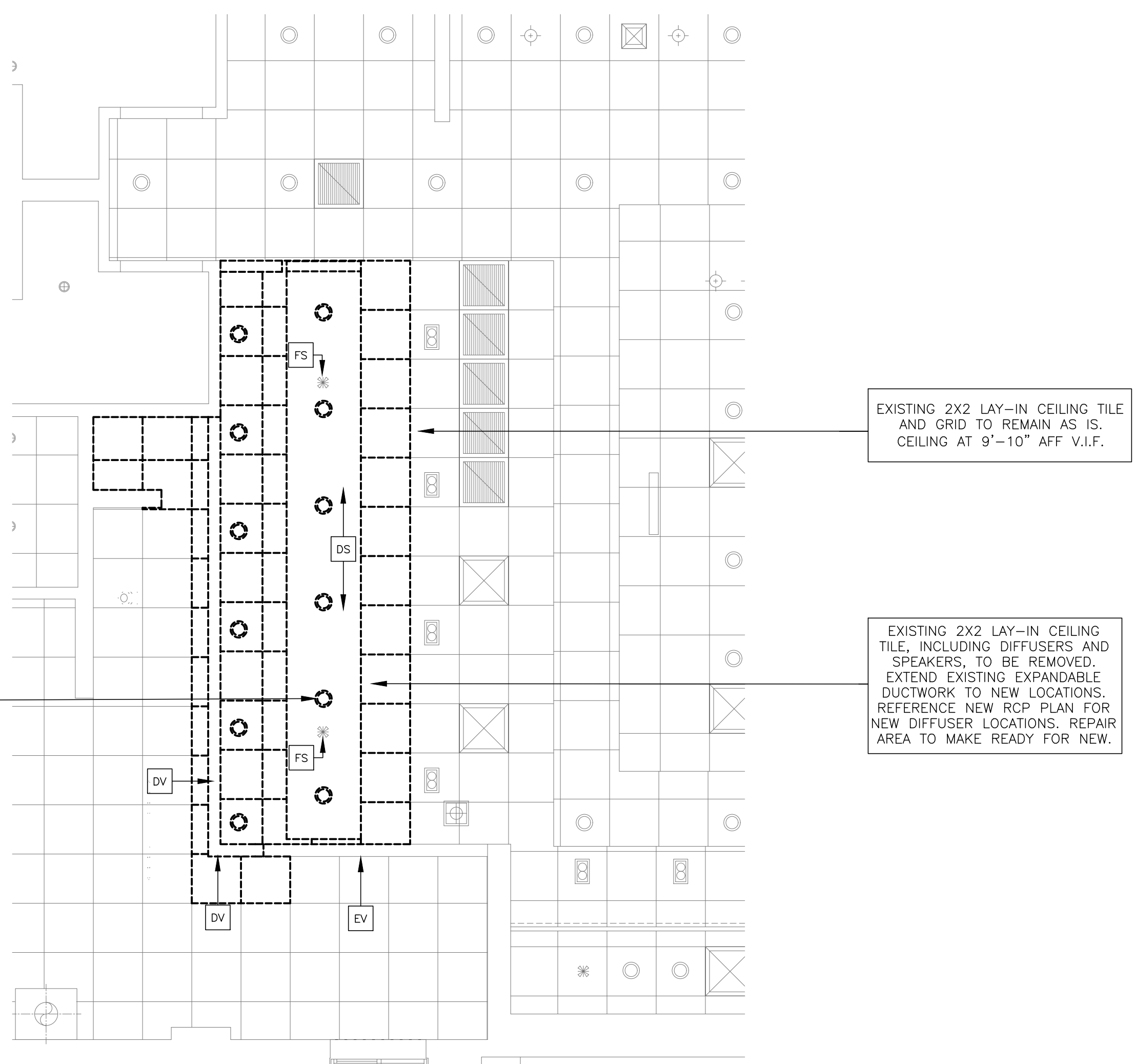
- EXISTING WALLS TO REMAIN, PROTECT AND PRESERVE
- EXISTING WALLS, WINDOWS, AND FIXTURES TO BE REMOVED

**1 DEMO PLAN**  
D1.0 1/4" = 1'-0"



**2 DEMO RCP**  
D1.0 1/4" = 1'-0"

- EXISTING WALLS TO REMAIN, PROTECT AND PRESERVE
- EXISTING WALLS, WINDOWS, AND FIXTURES TO BE REMOVED



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|   |  |
|---|--|
| PROJECT NAME<br><b>McDonald's GSR-SAM MOD-A</b>   | DONALD RORSCHACH ARCHITECT<br>2017                                 |
| DESCRIPTION<br>EXISTING EXTERIOR WALLS TO REMAIN AS IS<br>EXISTING ROOF FRAMING MEMBERS TO REMAIN AS IS | PROTOTYPE ISSUE DATE<br>REVIEWED<br>FIRST ISSUE DATE<br>06/21/2018 |
| SITE D.<br>032-11588  | SITE ADDRESS<br>1851 OVERHILLS RD. SPRING LAKE, NC 28390           |

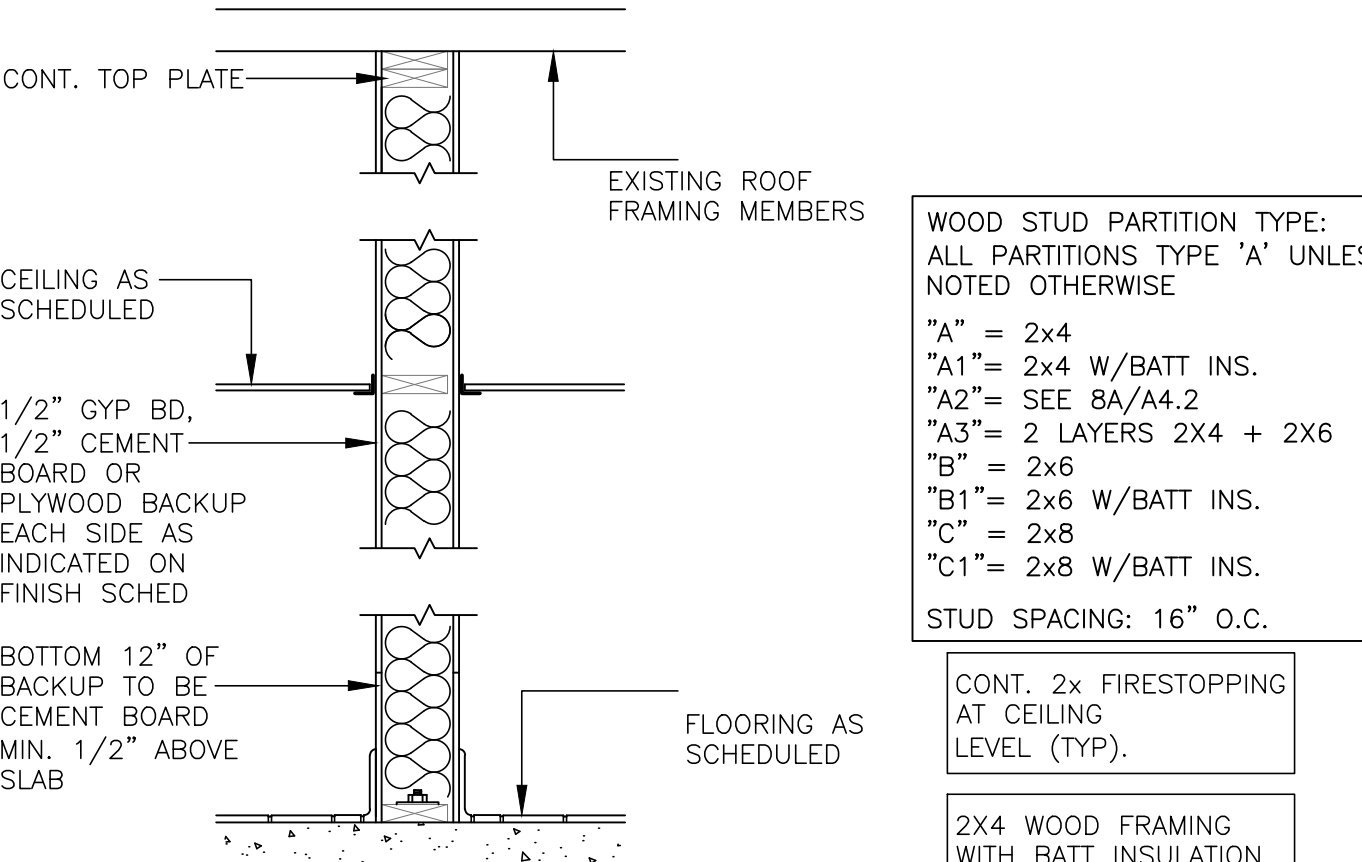
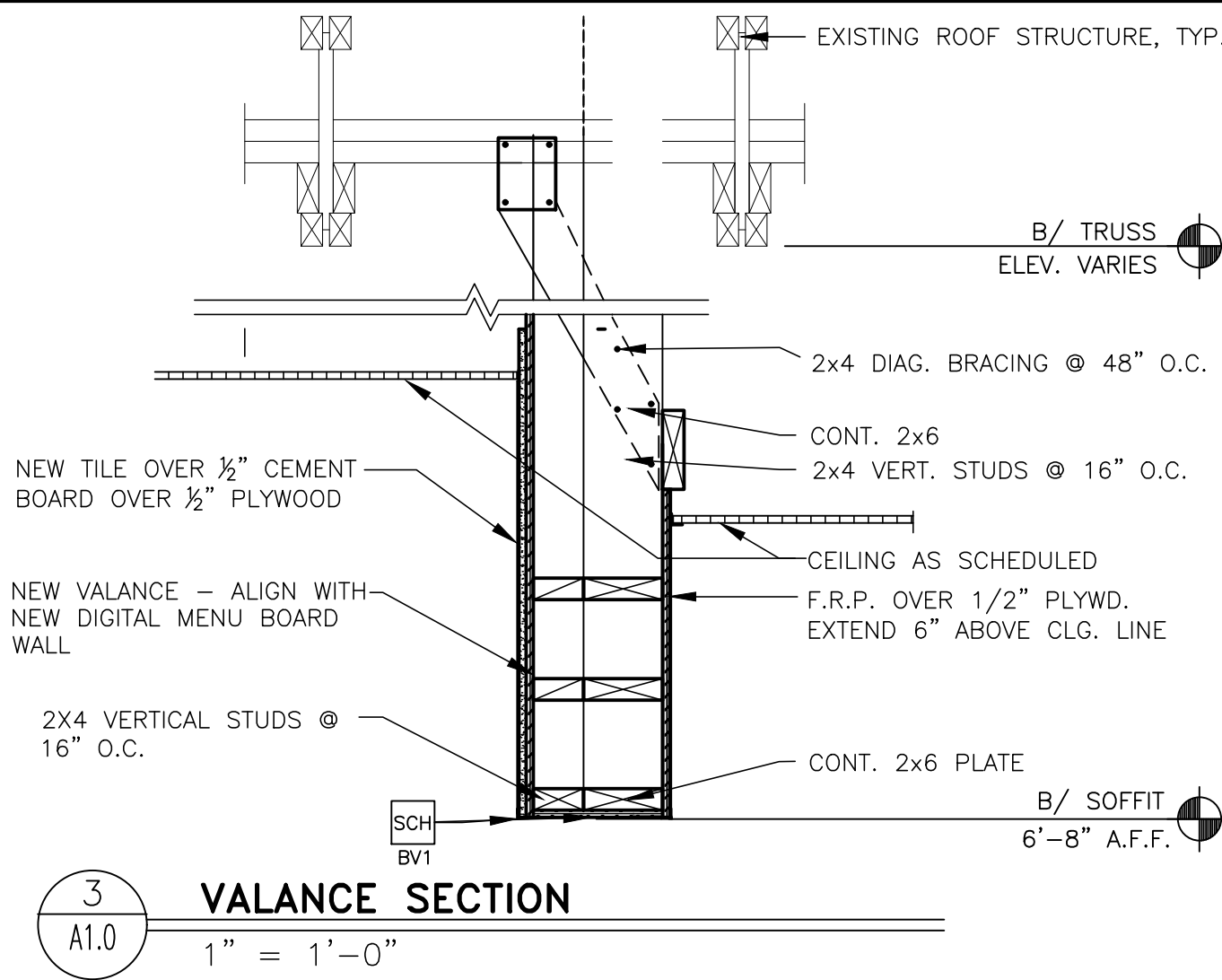
**D1.0**

**GENERAL FLOOR PLAN NOTES:**

ALL EXIT DOORS SHALL BE KEYLESS IN THE DIRECTION OF EGRESS.  
 THE OPENING FORCE OF ALL EXTERIOR PUSH/PULL DOORS SHALL NOT EXCEED 8 1/2 LBS.  
 THE OPENING FORCE OF ALL INTERIOR PUSH/PULL DOORS SHALL NOT EXCEED 5 LBS.  
 PROVIDE PANIC HARDWARE FOR ALL EXTERIOR DOORS AS NOTED ON THE DOOR SCHEDULE.  
 ALL DOOR HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.  
 PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING WALLS, FLOORS, CEILINGS, ETC... THAT ARE TO REMAIN. CONTRACTOR TO PATCH & REPAIR ANY DAMAGED PORTIONS OF THE EXISTING BUILDING AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION & FINISHES.  
 G.C. TO NOTIFY ACM IF EXISTING MODULAR FRONT COUNTER IS CORE DRILLED.  
 GC TO VERIFY SPRINKLER HEADS IN FIELD AND NOTIFY ACM.  
 NEW FINISHES TO MATCH EXISTING. GC TO REFERENCE DECOR AND VERIFY IN FIELD.

**KEYED FLOOR PLAN NOTES:**

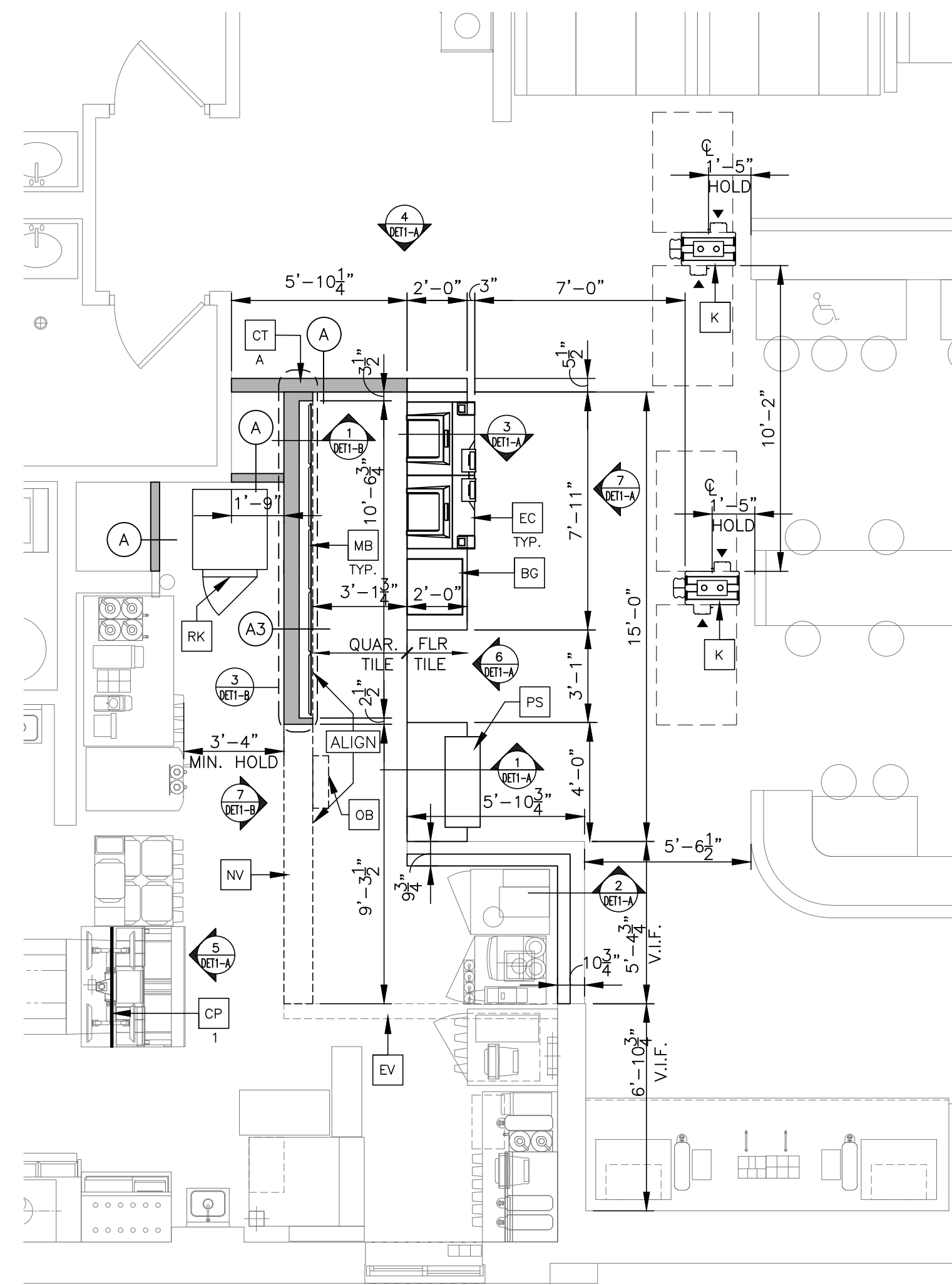
- CP** CP1-DARK CURATED VIEW PANEL:  
COLOR: WILSONART - STEEL MESH 4879-38
- CP2-LIGHT CURATED VIEW PANEL:  
COLOR: WILSONART - FASHION GRAY D381-60
- NOTE: GC TO RECEIVE CURATED PANEL MOUNTS FROM S&D VENDOR
- MB** RELOCATED (PORTRAIT) MENU BOARDS WITH BEVELS
- SCH** BV1-DARK SCHLUTER: 1/2" QUADREC TRENDLINE.  
COLOR: TUSCAN PEWTER
- BV2-LIGHT SCHLUTER: 1/2" DECO  
COLOR: SATIN ANODIZED ALUMINUM
- PS** NEW PICK UP SHELF UNIT.
- EC** NEW MODULAR FRONT COUNTER POD UNIT. GC TO NOTIFY ACM IF EXISTING COUNTER IS CORE-DRILLED.
- BG** NEW BAKED GOODS UNIT. GC TO REFERENCE 7/DET1-A.
- EV** EXISTING VALANCE TO REMAIN. EXISTING FINISHES TO BE REMOVED, AND MAKE READY FOR NEW. REF DET1-A FOR NEW FINISHES.
- NV** NEW VALANCE TO TIE INTO EXISTING. GC TO REFERENCE 6/DET1-A FOR FINISHES.
- K** NEW KIOSK. GC TO REFERENCE GN1 AND MEP.
- OB** NEW ORDER READY BOARD
- FT** FLOOR TILE TO MATCH EXISTING.  
GC TO VERIFY SPEC IN FIELD.
- CT** CERAMIC TILE TO MATCH EXISTING.  
GC TO VERIFY SPEC IN FIELD.
- A**
- ACT** ACOUSTICAL CEILING TILE-VINYL FACED.  
COLOR: WHITE
- AV**
- RK** RELOCATED EXISTING KITCHEN EQUIPMENT.
- FS** EXISTING FIRE SPRINKLER HEAD TO REMAIN. GC TO VERIFY EXACT LOCATION.



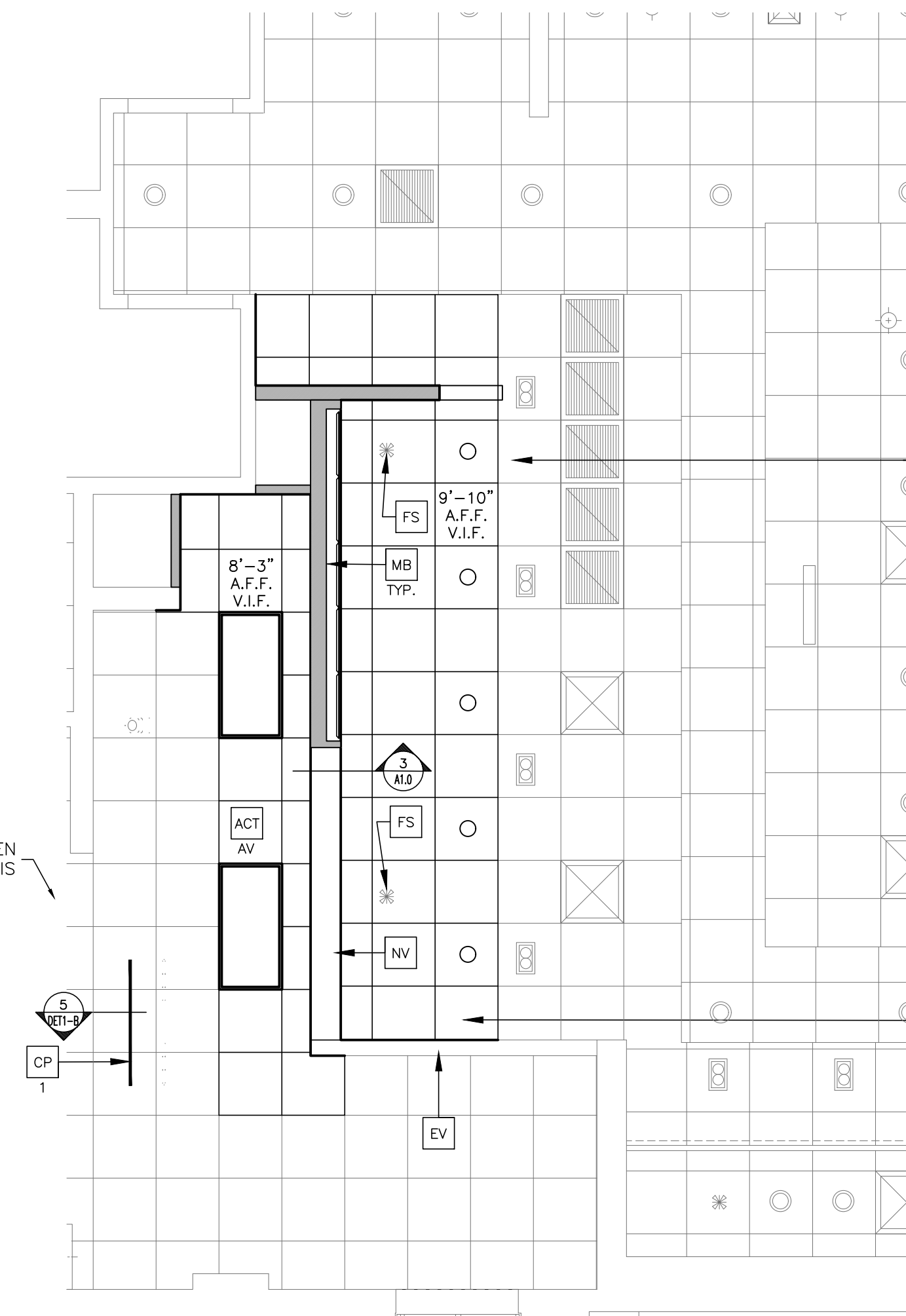
**4 INTERIOR WALL SECTION**  
 3/4" = 1'-0"

- EXISTING WALLS TO REMAIN, PROTECT AND PRESERVE
- NEW 2X WOOD STUD FRAMING, REF WALL TAGS FOR SIZE
- EXISTING WALLS, WINDOWS, AND FIXTURES TO BE REMOVED

**1 FRONT COUNTER PLAN**  
 1/4" = 1'-0"



**2 FRONT COUNTER RCP**  
 1/4" = 1'-0"



EXISTING 2X2 LAY-IN CEILING TILE AND GRID TO REMAIN AS IS. CEILING AT 9'-10" AFF V.I.F.

GC TO VERIFY AFTER NEW VALANCE IS INSTALLED IF OLD VALANCE IS VISIBLE TO CUSTOMER. UPDATED FINISHES WILL BE REQUIRED IF VISIBLE, GC TO NOTIFY ACM.

ALL NEW LIGHTING & SIGNS (INTERIOR & EXTERIOR) TO BE CIRCUITED/SWITCHED BACK TO THE EXISTING CIRCUITS ARE LOADED BEYOND 80% OF CAPACITY.

ALL EXISTING DUCT WORK IS TO REMAIN, PROTECT & PRESERVE DURING DEMO. EXTEND EXISTING DUCTWORK AS NECESSARY TO ACCOMMODATE NEW DIFFUSER LAYOUT.

NEW 2X2 CEILING TILE AND GRID. GC TO MATCH EXISTING. CEILING AT 9'-10" AFF V.I.F.

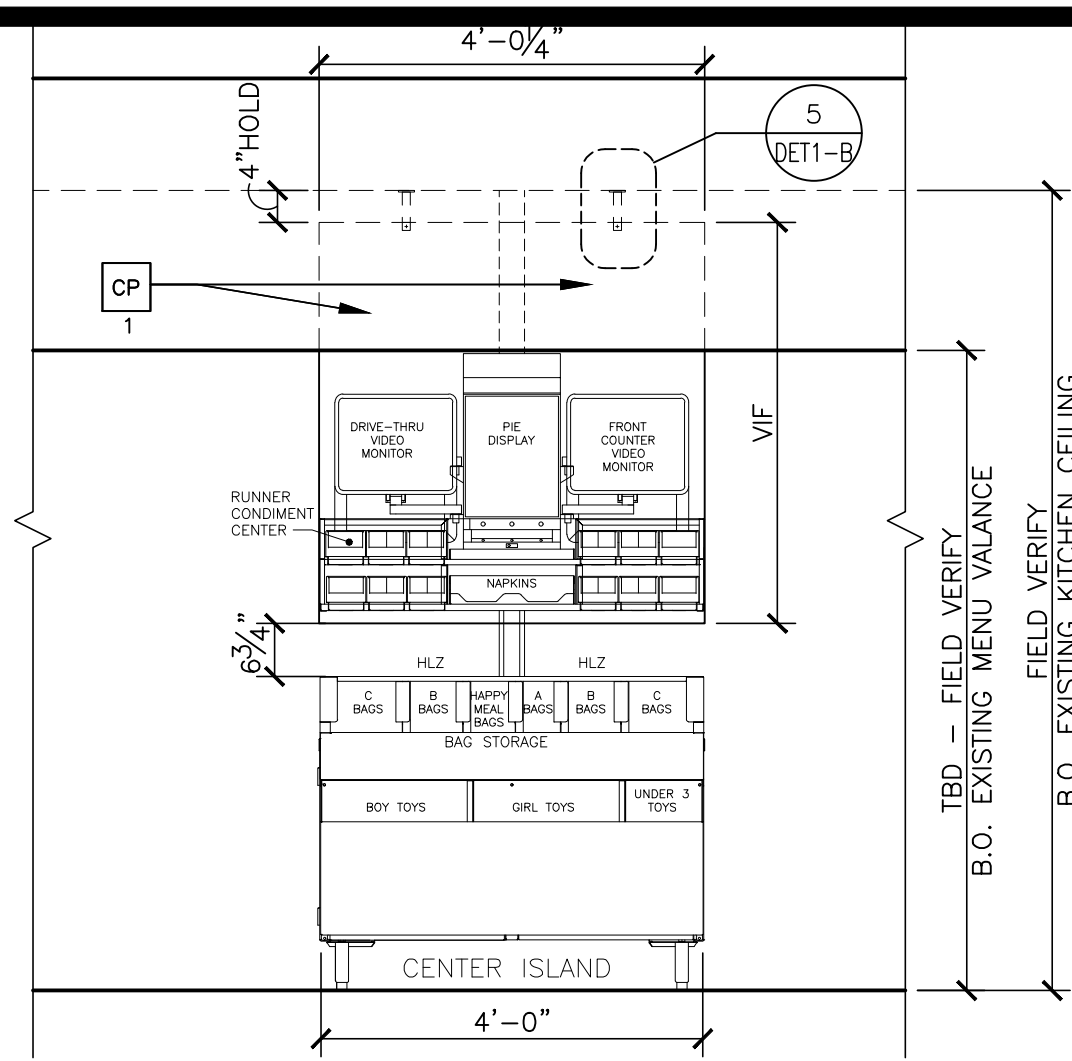
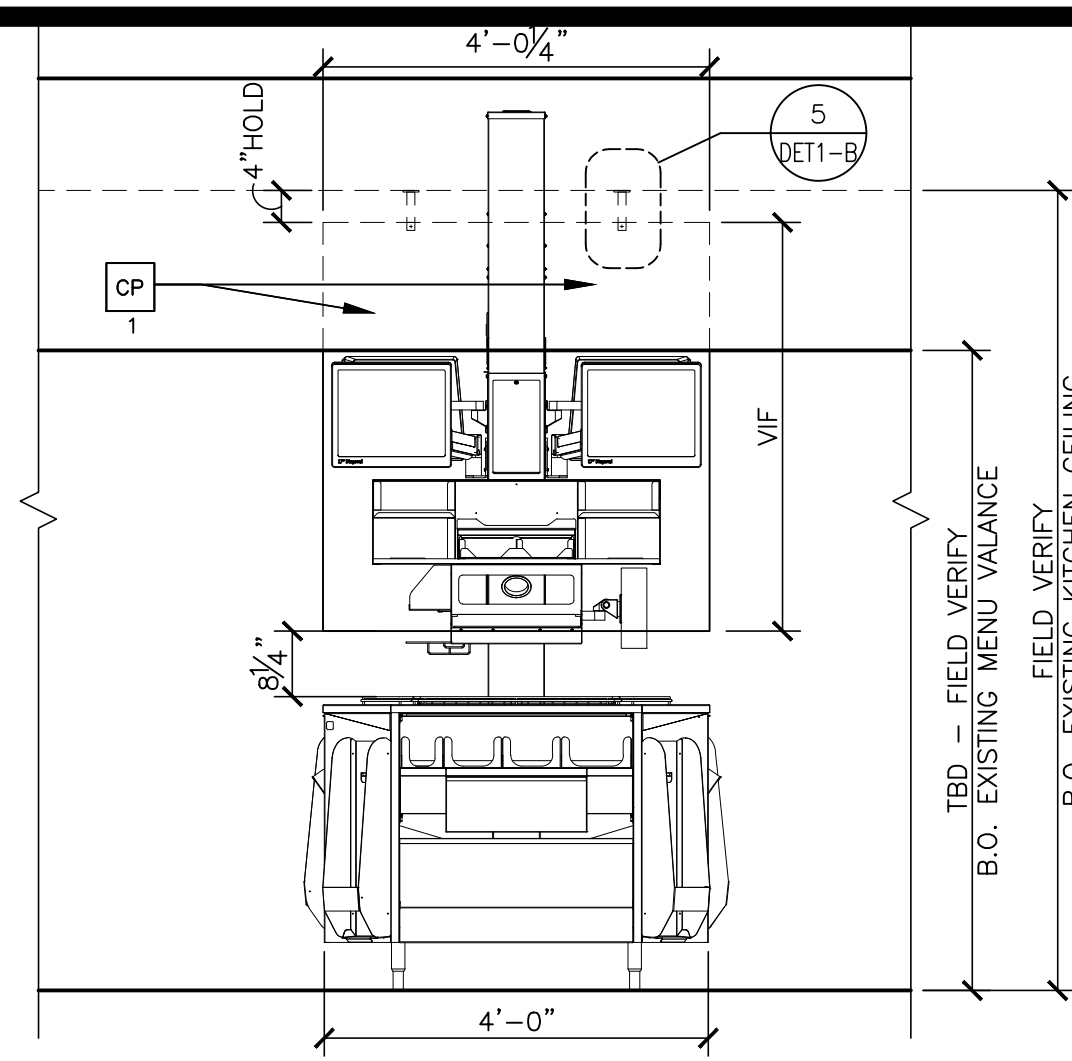


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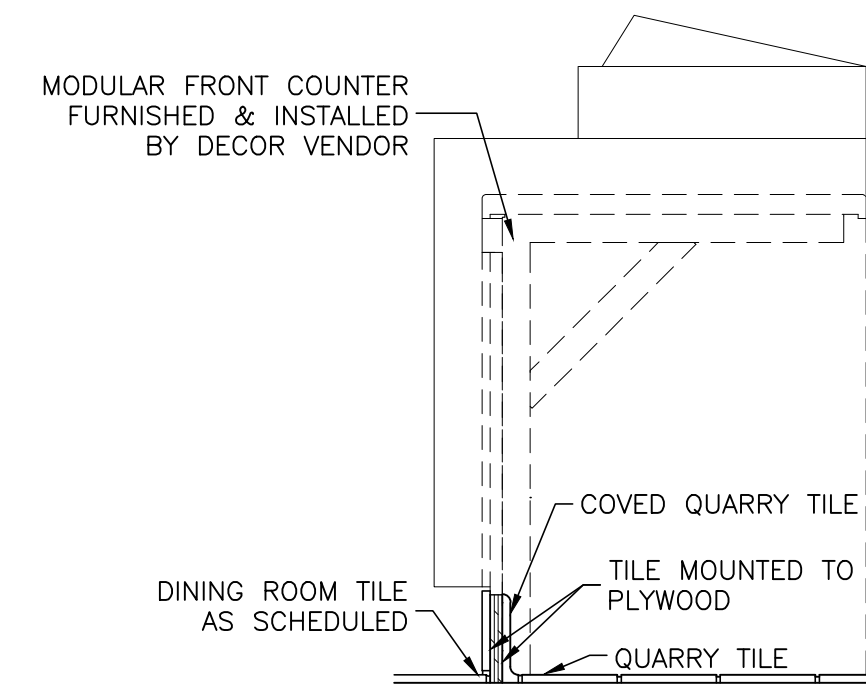
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|                            |  |
|----------------------------|--|
| PROJECT NAME               | McDonald's GSR-SAM MOD-A   |
| DESCRIPTION                | EXISTING EXTERIOR WALLS TO REMAIN AS IS<br>EXISTING ROOF FRAMING MEMBERS TO REMAIN AS IS |
| SITE D.                    | 032-11588   8501 OPENHILLS RD. SPRING LAKE, NC 28390                                     |
| DONALD RORSCHACH ARCHITECT | PROTOTYPE ISSUE DATE   |
| 2017                       | REVIEWED   |
| AS                         | FIRST ISSUE DATE   |
| 06/21/2018                 |  |

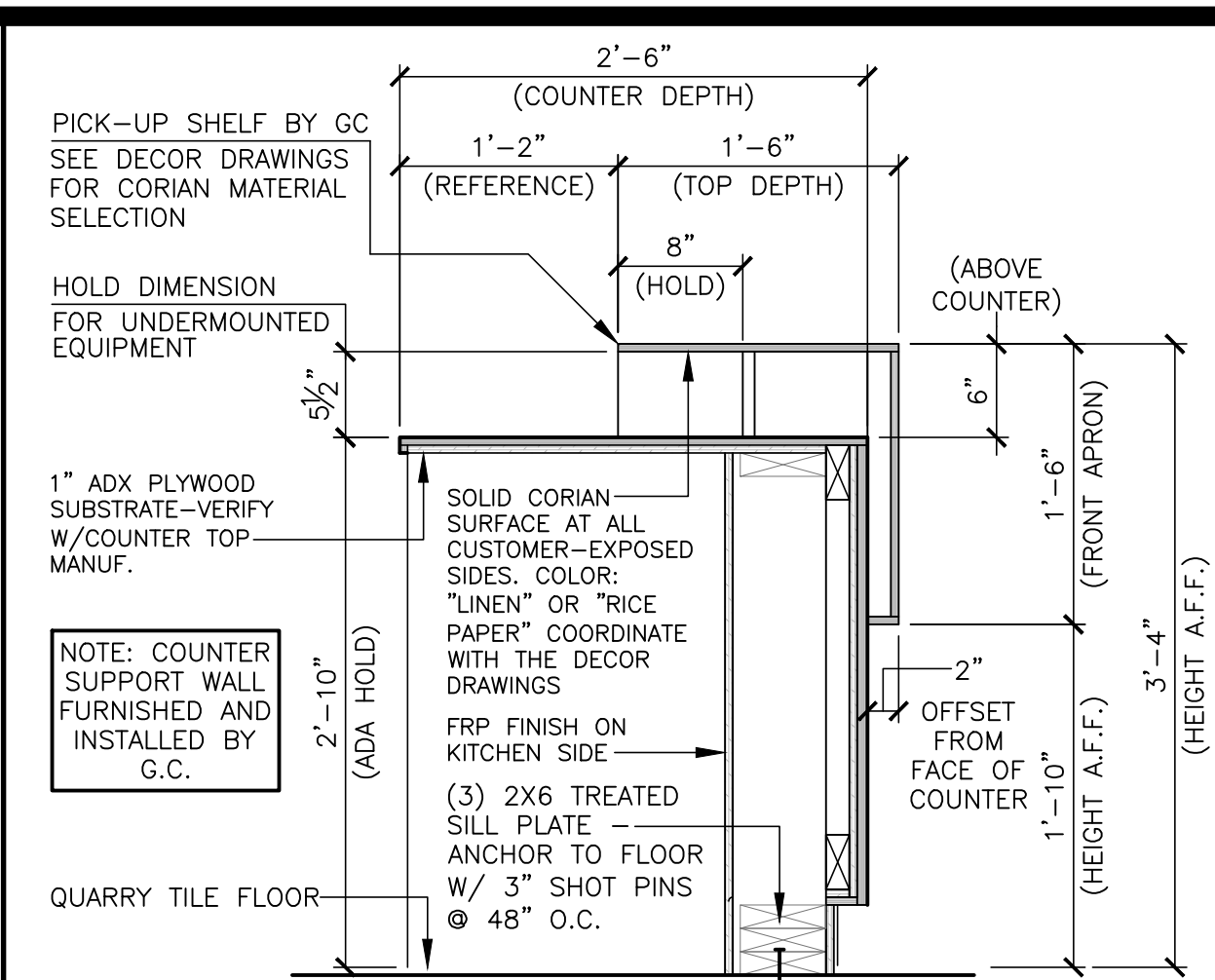
**A1.0**



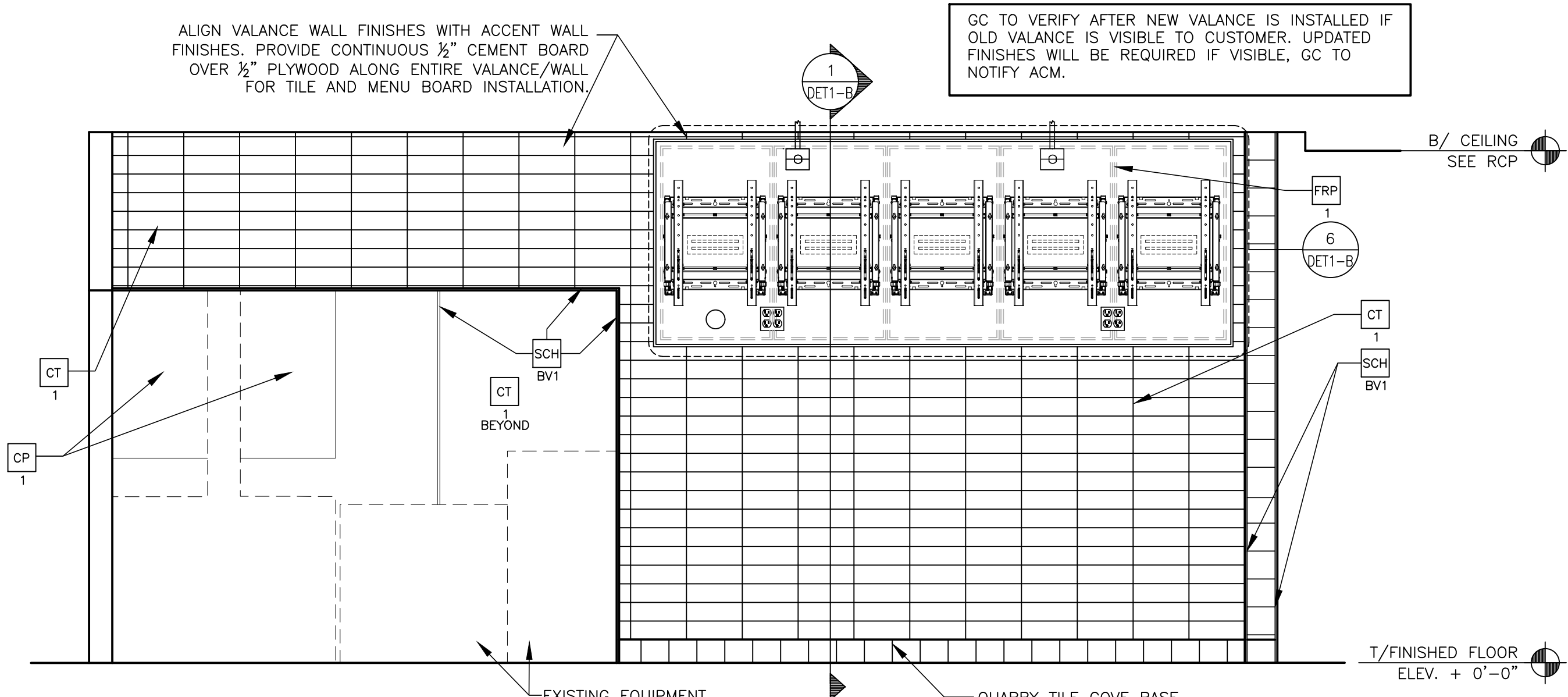
**5 CURATED VIEW PANEL ELEVATION**  
 DET1-A 1/2" = 1'-0"



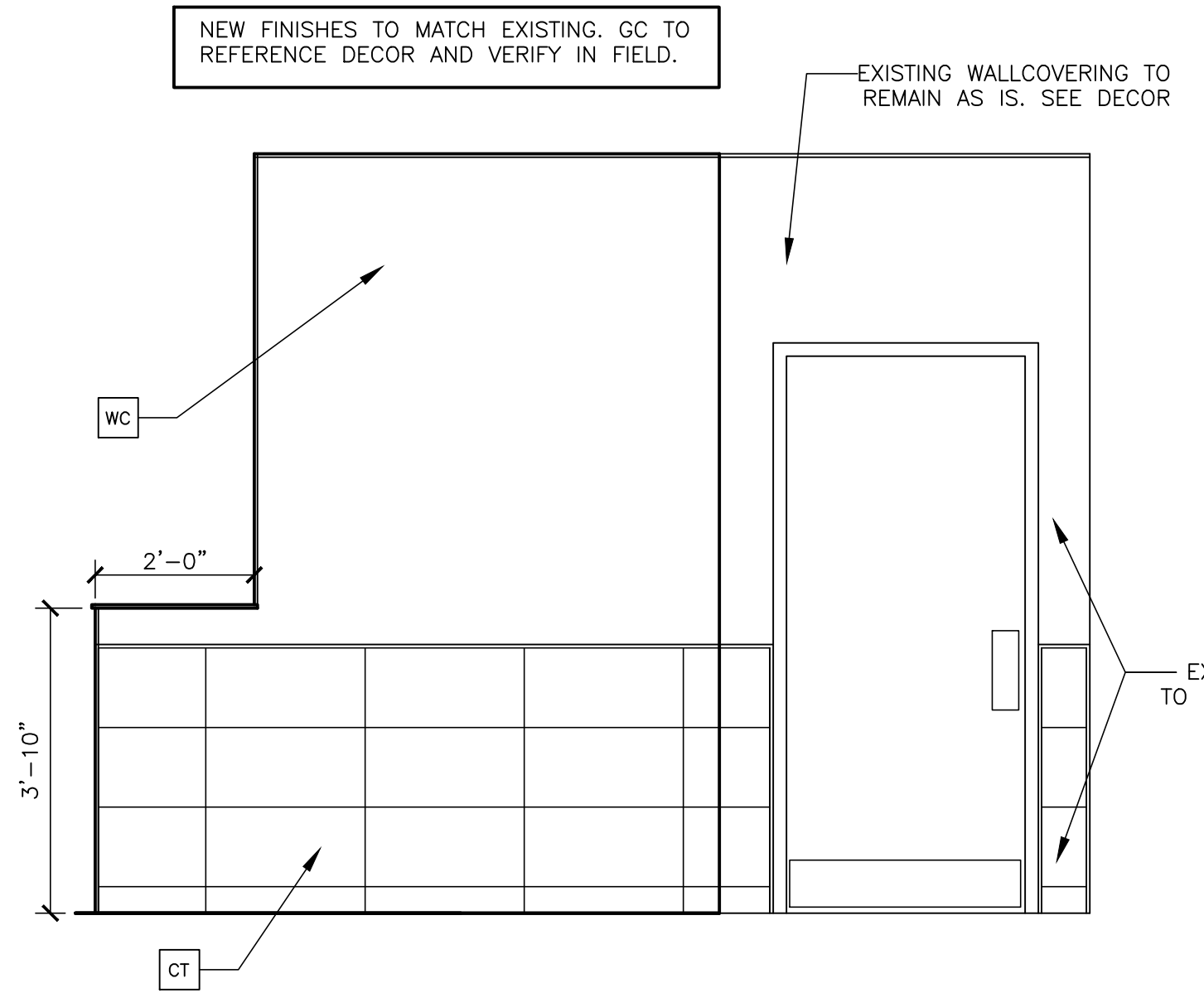
**3 MODULAR FRONT COUNTER SECTION**  
 DET1-A 1" = 1'-0"



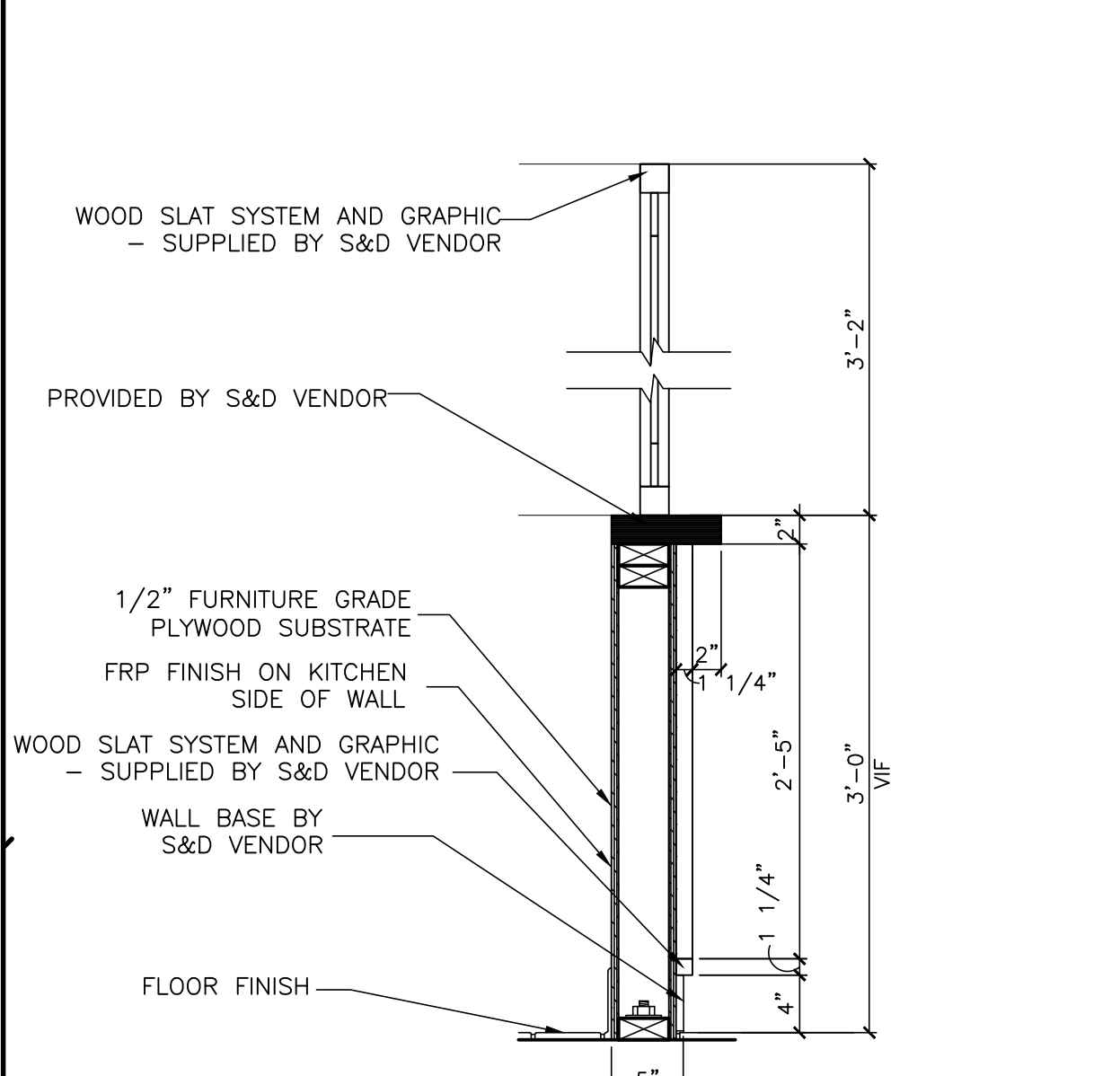
**1 PICK UP COUNTER DETAIL**  
 DET1-A 1" = 1'-0"



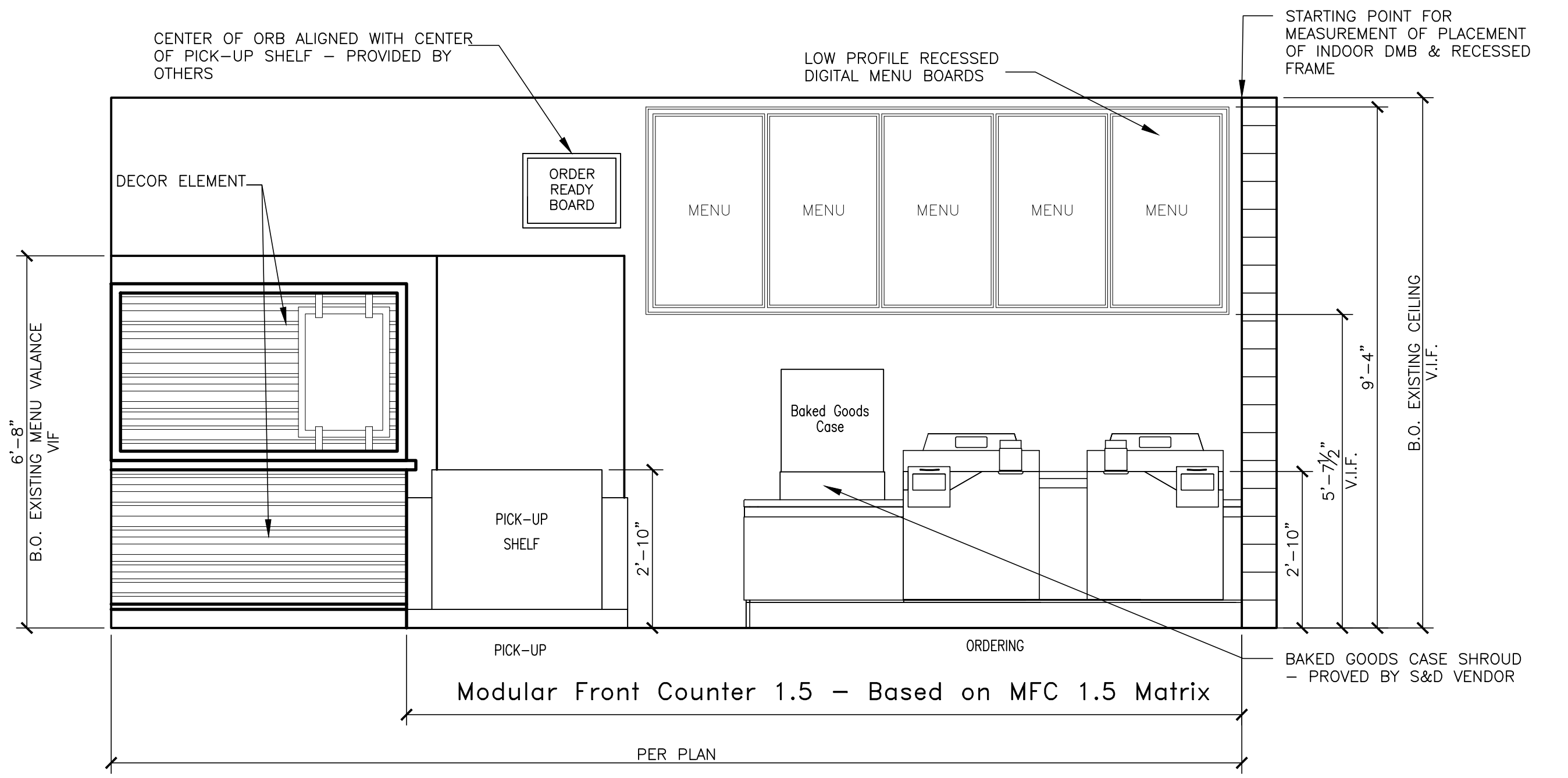
**6 INTERIOR ELEVATION-FINISHES**  
 DET1-A 1/2" = 1'-0"



**4 INTERIOR ELEVATION - FINISHES**  
 DET1-A 1/2" = 1'-0"



**2 CBB WALL SECTION**  
 DET1-A 1" = 1'-0"



**7 INTERIOR ELEVATION**  
 DET1-A 1/2" = 1'-0"

**KEY NOTES** \*\* COORDINATE ALL FINISHES WITH McDONALD'S ACM PRIOR TO INSTALLATION

|   |   |
|---|---|
| <p>CT1-DARK: PORCELAIN WALL TILE: EUROWEST COLOR: NOIR 4"x12" PATTERN: STACK BOND GROUT: MAPEI - 47 CHARCOAL - JOINT TO BE 1/8" MAX.</p> <p>CT2-LIGHT: PORCELAIN WALL TILE: COLOR: UNI GRIGIO PATTERN: STACK BOND GROUT: MAPEI - 77 FROST - JOINT TO BE 1/8" MAX. COORDINATE WITH THE McDONALD'S AREA CONSTRUCTION MANAGER</p> <p>CP1-DARK CURATED VIEW PANEL: COLOR: WILSONART - STEEL MESH 4879-38</p> <p>CP2-LIGHT CURATED VIEW PANEL: COLOR: WILSONART - FASHION GRAY D381-60</p> <p>NOTE: GC TO RECEIVE CURATED PANEL MOUNTS FROM S&amp;D VENDOR</p> | <p>FRP1-DARK FRP: COLOR: MARLITE S - 807N SMOOTH BLACK</p> <p>FRP2-LIGHT FRP: COLOR: MARLITE S - 490N LIGHT GRAY</p> <p>SCH1-BV1-DARK SHLUTER: 1/2" QUADREC TRENDLINE COLOR: TUSCAN PEWTER</p> <p>BV2-LIGHT SHLUTER: 1/2" DECO COLOR: SATIN ANODIZED ALUMINUM</p> <p>FT EXISTING FLOOR TILE TO MATCH EXISTING. GC TO VERIFY SPEC IN FIELD.</p> <p>CT CERAMIC WALL TILE TO MATCH EXISTING. GC TO VERIFY SPEC IN FIELD.</p> <p>WC WALLCOVERING TO MATCH EXISTING. GC TO VERIFY SPEC IN FIELD.</p> |
|---|---|



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|                      |   |
|----------------------|---|
| PROJECT NAME         | McDonald's GSR-SAM MOD-A  |
| DESCRIPTION          | EXISTING EXTERIOR WALLS TO REMAIN AS IS EXISTING ROOF FRAMING MEMBERS TO REMAIN AS IS |
| SITE D.              | 032-11588   BEST OVERHILLS RD. SPRING LAKE, NC 28390                                  |
| ARCHITECT            | DONALD RORSCHACH ARCHITECT  |
| PROTOTYPE ISSUE DATE | 2017  |
| REVIEWED             | JAS   |
| FIRST ISSUE DATE     | 06/21/2018  |

**DET1.A**

|          |     | ELECTRICAL SCHEDULE                 |                |       |          |           |         |            |          |  |  |  |
|----------|-----|-------------------------------------|----------------|-------|----------|-----------|---------|------------|----------|--|--|--|
| TAG #    | QTY | DESCRIPTION                         | VOLT/PH        | FLA   | BRK SIZE | COND/WIRE | PNL/CCT | RECEP TYPE | HGT AFF  | REQUIREMENTS & REMARKS                     |  |  |
| 04.20E3  | 2   | MENU BOARD - DIGITAL                | 120/1 ISOLATED | 5.3   | 20A      | -         | -       | (2) IG5262 | SEE PLAN | SEE LAYOUT FOR GANGED OUTLET CONFIGURATION |  |  |
| 04.21E1  | 2   | MENU BOARD - DIGITAL - MEDIA PLAYER | 120/1 ISOLATED | 1.0   | 20A      | -         | -       | (2) IG5262 | SEE PLAN | SEE LAYOUT FOR GANGED OUTLET CONFIGURATION |  |  |
| 216.05E9 | 1   | ORB MONITOR                         | 120/1 ISOLATED | 1.5EA | 20A      | -         | -       | (1) IG4700 | SEE PLAN | SEE LAYOUT FOR GANGED OUTLET CONFIGURATION |  |  |

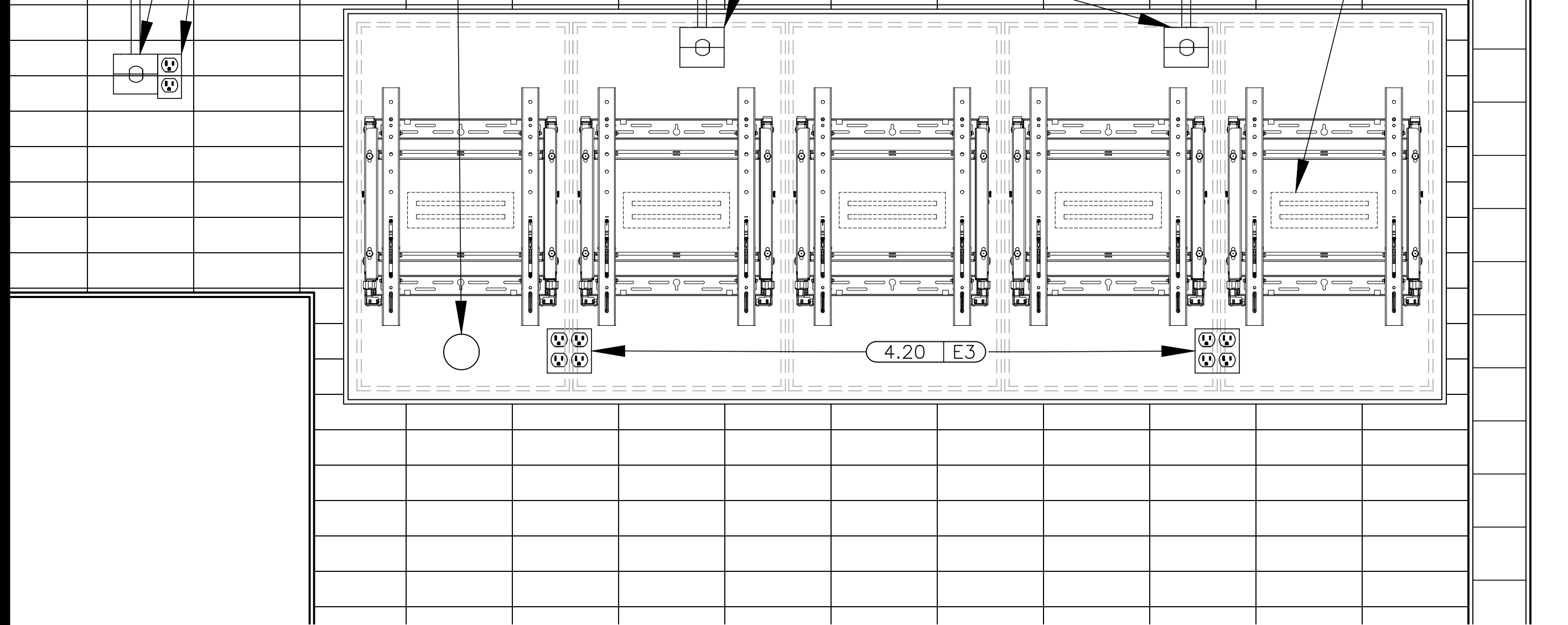
PB = Pullbox VIF = Verify in Field  
 JB = Junction Box  
 EC = Electrical Contractor

JB WITH ONE (1) 1 1/2" CONDUIT TO ABOVE CEILING WITH BUSHINGS FOR DATA CABLES

OPTION 1:  
 4" CONDUIT SLEEVE THROUGH VALANCE WALL TO ALLOW FOR PASS THROUGH OF DATA CABLE. PROVIDE BUSHING ON EACH END

OPTION 2:  
 JB WITH ONE (1) 2 1/2" CONDUIT TO ABOVE CEILING WITH BUSHINGS FOR DATA CABLES

RECESSED 4X12 LOUVER TO EXHAUST INTO KITCHEN. GC TO PROVIDE (1) LOUVER PER DMB. CENTER AROUND STUD SPACING.



NOTE: OPTION 1 IS PREFERRED IF AREA BEHIND BOARDS IS A NON-CUSTOMER AREA AND MEDIA PLAYERS WON'T BE INSTALLED ABOVE FOOD PREP. SLEEVES SHOULD NOT BE INSTALLED WITHIN CUSTOMER VIEW. IF AREA BEHIND MENU BOARDS IS DINING, RESTROOMS, OR OTHER CUSTOMER-FACING LOCATION, USE OPTION 2.

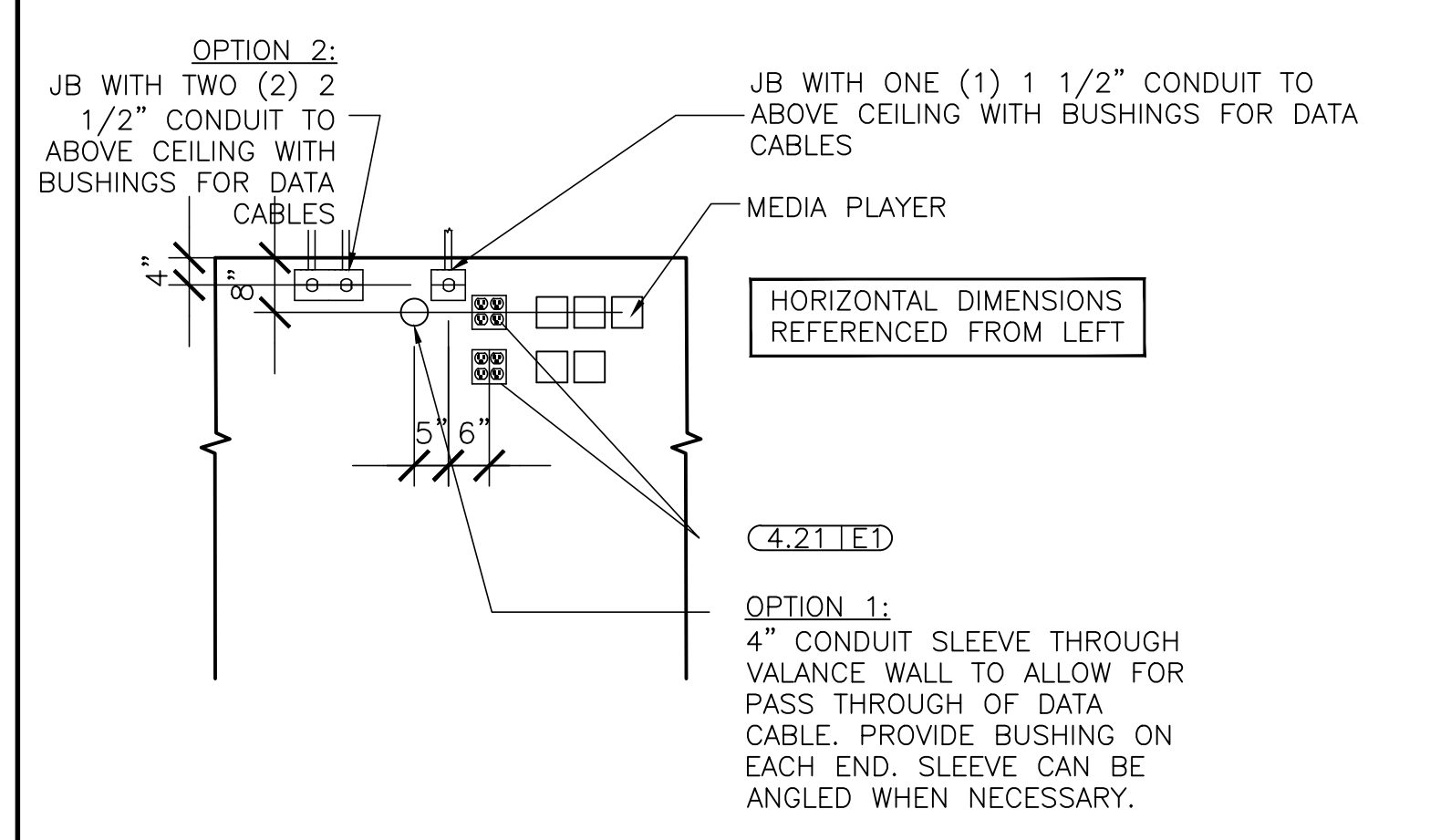
6 RECESSED MENU BOARDS  
 DET1-B 1" = 1'-0"

THIS SLIP SHEET IS PROVIDED FOR ELECTRICAL ROUGH-IN PREPARATION AND GENERAL DIGITAL MENU BOARD MOUNTING GUIDELINES. EVALUATE EXISTING VALANCE WALL STRUCTURE AND BACKING MATERIALS TO ENSURE ADEQUATE SUPPORT OF EQUIPMENT.

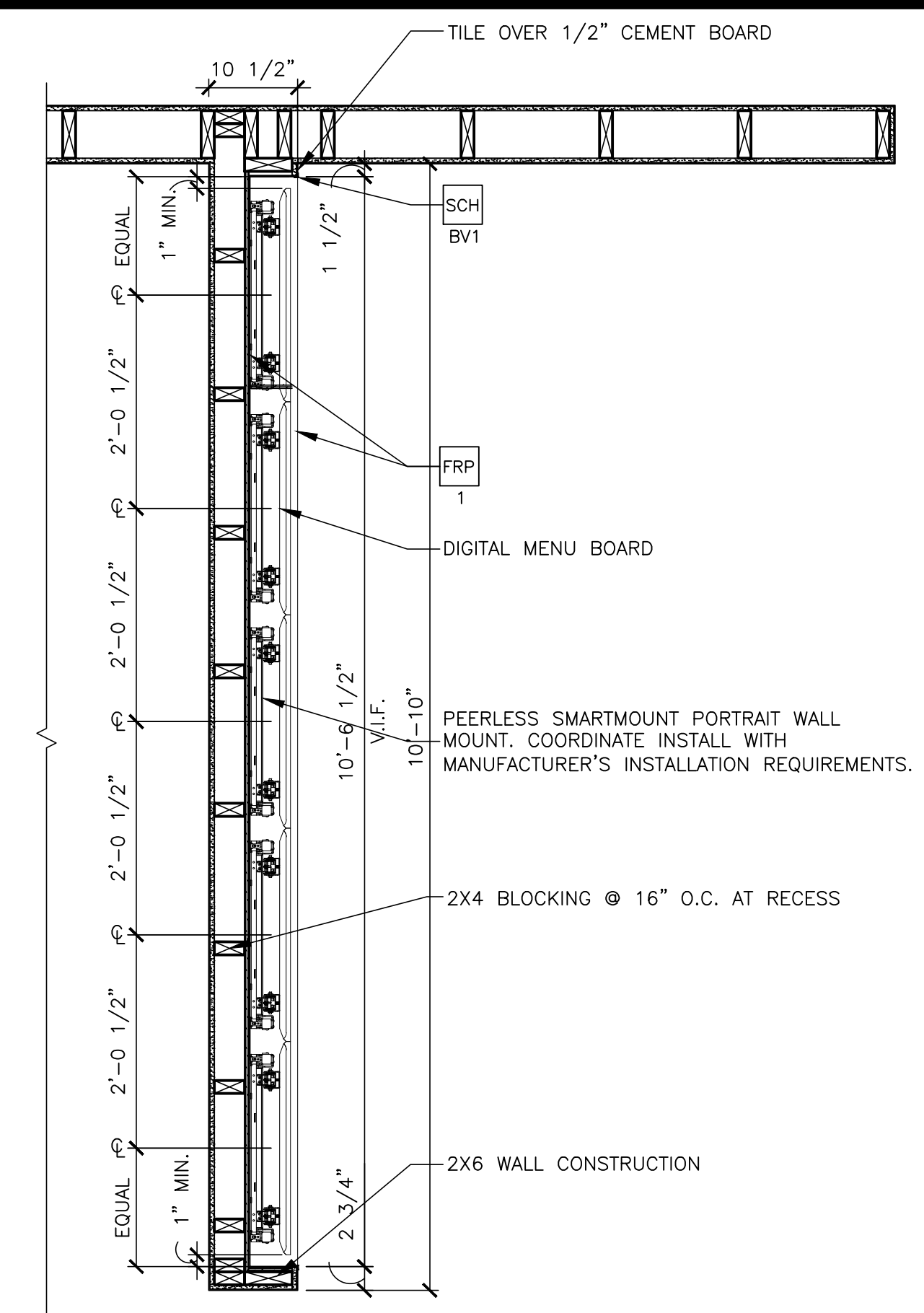
ALL HEADER AND WALL PENETRATIONS FOR CONDUITS OR OTHER ELECTRICAL ROUTING MUST BE SEALED TIGHT.

DIGITAL MENU BOARD (DMB) INSTALLATION NOTES:

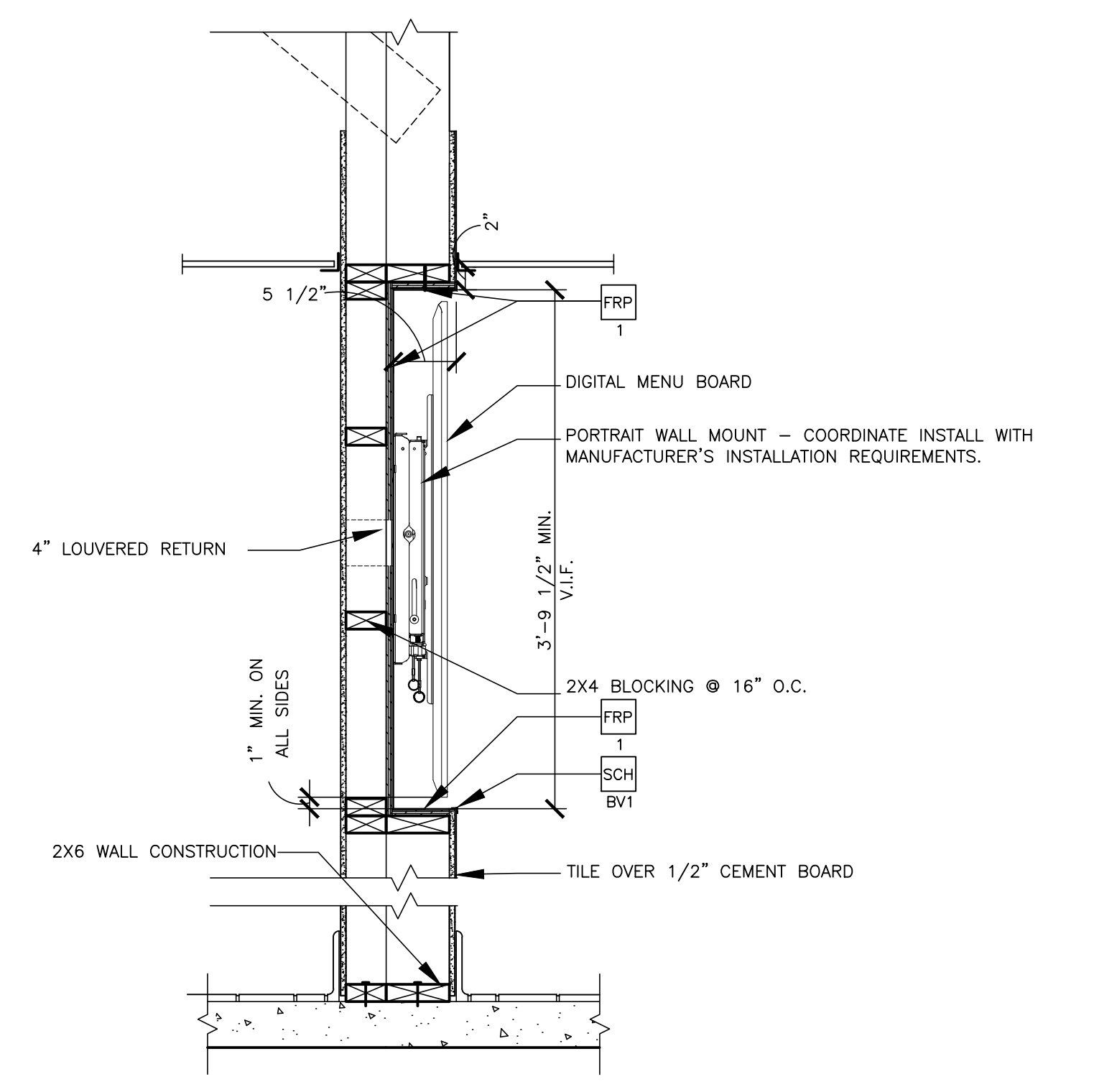
- DMB SUPPORT EQUIPMENT INCLUDES:
  - NETWORK MANAGEMENT DEVICE (NMD)
  - 24 PORT ENHANCED WAYPOINT SWITCH (EWS)
 THIS EQUIPMENT IS TYPICALLY MOUNTED IN TECHNOLOGY CLOSET OR IN MANAGER'S OFFICE.
- DMB INSTALLERS TO ROUTE CONTROL WIRES FROM NMD/EWS ABOVE CEILING TO MENU BOARD VALANCE WALL. WIRES TO EXIT WALL VIA J-BOXES.
- EACH DMB SECTION REQUIRES A DEDICATED MEDIA PLAYER.



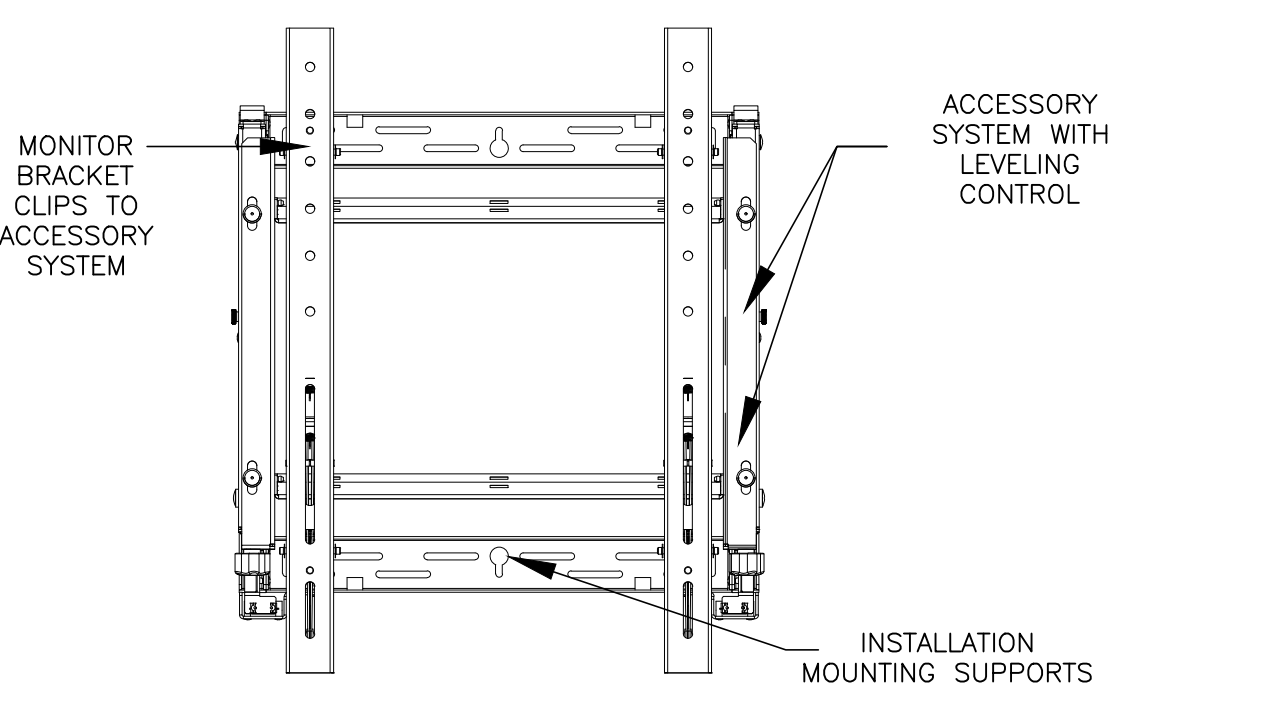
7 BACK OF WALL VALANCE  
 DET1-B 3/4" = 1'-0"



3 RECESSED MENU BOARDS  
 DET1-B 3/4" = 1'-0"

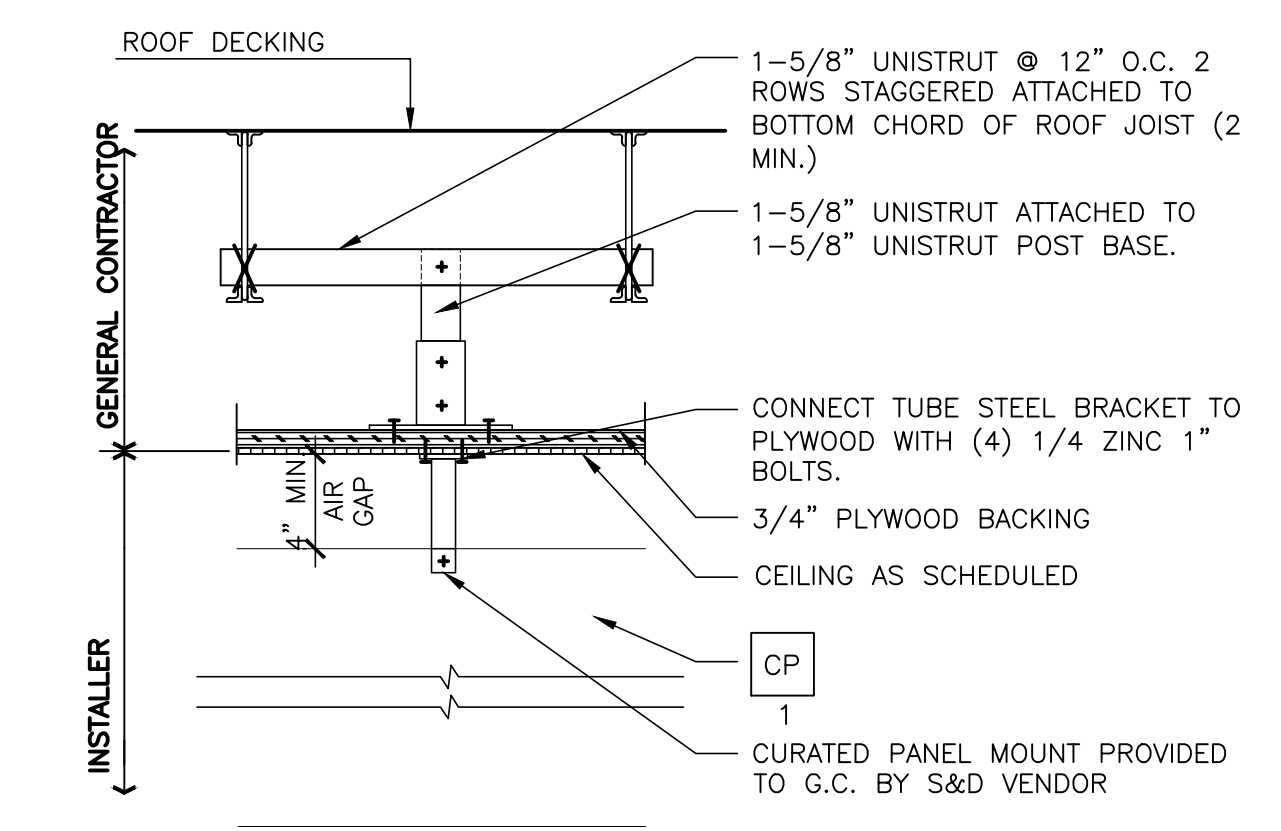


1 RECESSED MENU BOARDS  
 DET1-B 1" = 1'-0"



4 DIGITAL MENU BOARD BRACKET DETAIL  
 DET1-B 1 1/2" = 1'-0"

\*SECURE TO EXISTING STUDS OR 3/4" PLYWOOD BACKING  
 REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS



5 CURATED PANEL INSTALL. DETAIL  
 DET1-B 1 1/2" = 1'-0"

2 NOT USED  
 DET1-B NOT TO SCALE

- KEY NOTES
- CT1-DARK: PORCELAIN WALL TILE: EUROWEST COLOR: NOIR 4"x12" PATTERN: STACK BOND GROUT: MAPEI - 47 CHARCOAL - JOINT TO BE 1/8" MAX.
  - CT2-LIGHT: PORCELAIN WALL TILE: COLOR: UNI GRIGIO PATTERN: STACK BOND GROUT: MAPEI - 77 FROST - JOINT TO BE 1/8" MAX. COORDINATE WITH THE McDONALD'S AREA CONSTRUCTION MANAGER
  - FRP1-DARK FRP: COLOR: MARLITE S - 807N SMOOTH BLACK
  - FRP2-LIGHT FRP: COLOR: MARLITE S - 490N LIGHT GRAY
  - BV1-DARK SHLUTER: 1/2" QUADEC TRENDLINE COLOR: TUSCAN PEWTER
  - BV2-LIGHT SHLUTER: 1/2" DECO COLOR: SATIN ANODIZED ALUMINUM
  - FT EXISTING FLOOR TILE TO MATCH EXISTING. GC TO VERIFY SPEC IN FIELD.
  - CT EXISTING CERAMIC WALL TILE TO REMAIN THE SAME. GC TO VERIFY SPEC IN FIELD.
  - WC WALLCOVERING TO MATCH EXISTING. GC TO VERIFY SPEC IN FIELD.
  - CP1-DARK CURATED VIEW PANEL: COLOR: WILSONART - STEEL MESH 4879-38
  - CP2-LIGHT CURATED VIEW PANEL: COLOR: WILSONART - FASHION GRAY D381-60
- NOTE: GC TO RECEIVE CURATED PANEL MOUNTS FROM S&D VENDOR



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|                      |   |
|----------------------|---|
| PROJECT NAME         | McDonald's GSR-SAM MOD-A  |
| DESCRIPTION          | EXISTING EXTERIOR WALLS TO REMAIN AS IS EXISTING ROOF FRAMING MEMBERS TO REMAIN AS IS |
| SITE D.              | 032-11588   BEST OVERHILLS RD. SPRING LAKE, NC 28390                                  |
| DATE                 | 06/21/2018  |
| PROTOTYPE ISSUE DATE | 2017  |
| REVIEWED             | JAS   |
| FIRST ISSUE DATE     | 06/21/2018  |

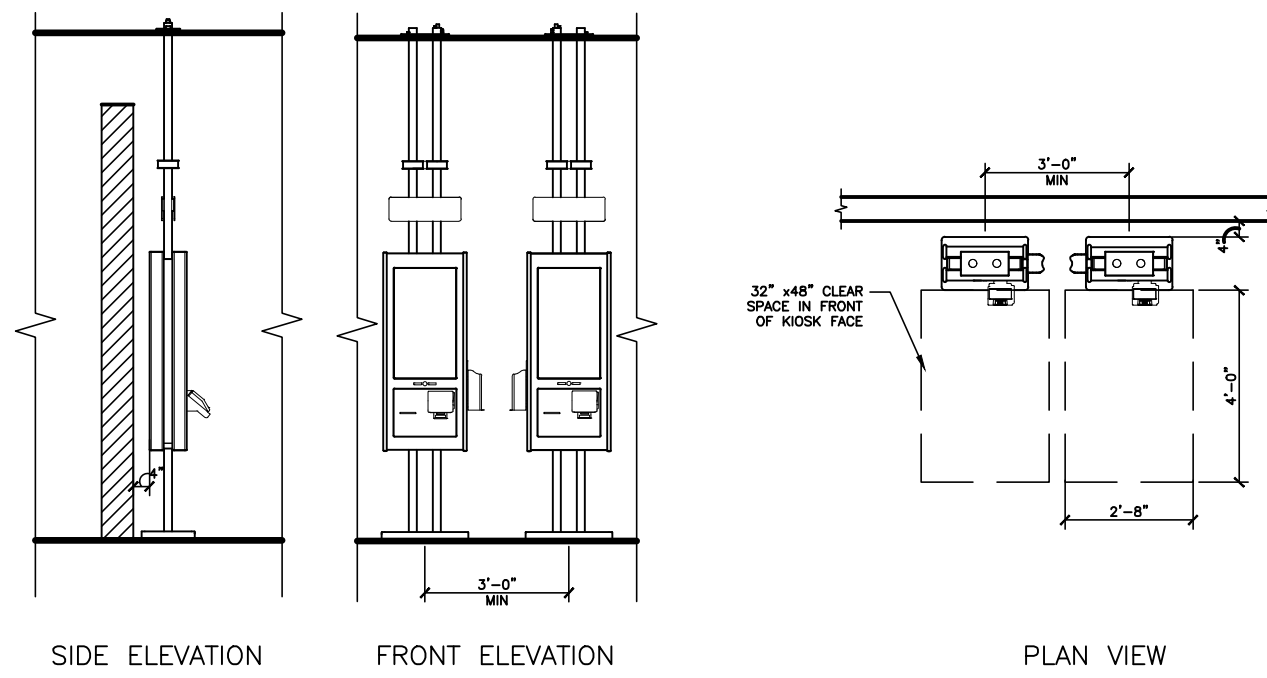
DET1.B

# KIOSK GUIDELINES

## GENERAL REQUIREMENTS

### SINGLE SIDED KIOSK

CONFIGURATION: PARALLEL

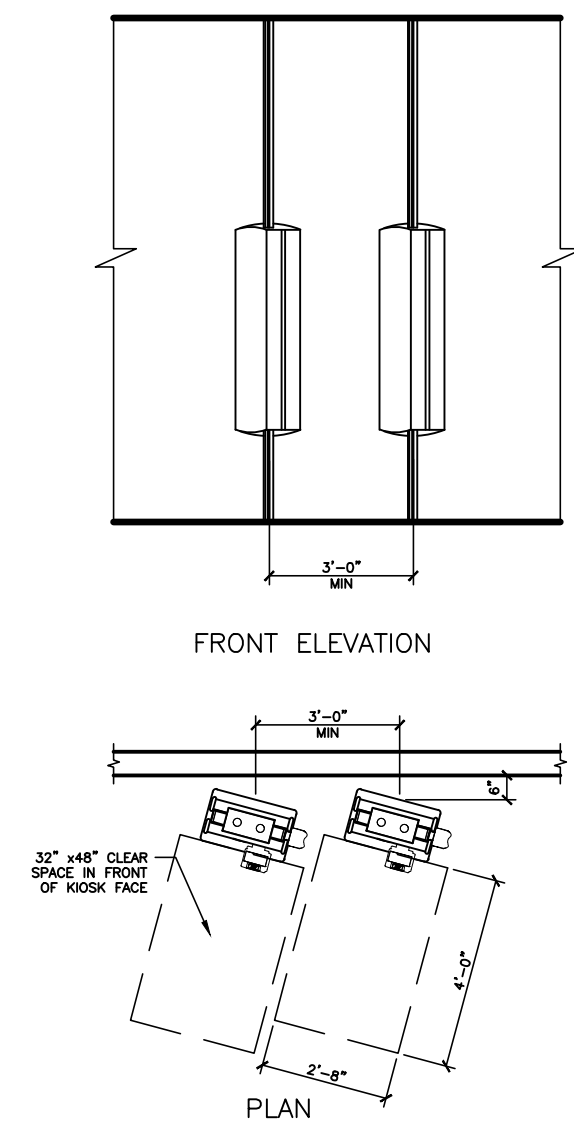


#### GENERAL NOTES:

- TYPICAL KIOSK QUANTITY (4), FINAL QUANTITY PER RESTAURANT TO BE DETERMINED BY MCDONALD'S OPERATIONS TEAM AND ACM
- 12" CLEAR DIMENSION HIGHLY RECOMMENDED BETWEEN FRONT COUNTER AND KIOSK \*EXISTING CONDITIONS TO BE CONSIDERED
- SEE PUCK HOLDER GUIDELINE FOR PLACEMENT
- WALL FINISH BEHIND KIOSK TO COORDINATE WITH DECOR
- POWER FROM ABOVE (WITH STANDARD CEILING HEIGHT) IF CEILING IS GREATER THAN 10'-6" CONTACT USRD PROJECT MANAGER, SEE KIOSK CUT SHEET FOR ADDITIONAL ELECTRICAL INFORMATION
- CUSTOMER QUEUES MAY FORM AND CREATE CONGESTION WITH OTHER ORDER POINTS. USE THIS CONFIGURATION ONLY WHEN THERE IS SUFFICIENT CLEAR SPACE IN FRONT OF KIOSK
- WALL OR PARTITION NOT NECESSARILY REQUIRED BEHIND KIOSK, SINGLE SIDED CONFIGURATION ACTS AS A PARTITION
- SINGLE SIDED KIOSKS MAY BE ANGLED SLIGHTLY (10'-15') TO PROVIDE BETTER SCREEN VISIBILITY
- WORK WELL SIDE BY SIDE WITH A 5' WIDE PARTITION/WALL BEHIND

### OTHER KIOSK PLACEMENT

KIOSK CAN BE ANGLED AND/OR FREE FLOATING

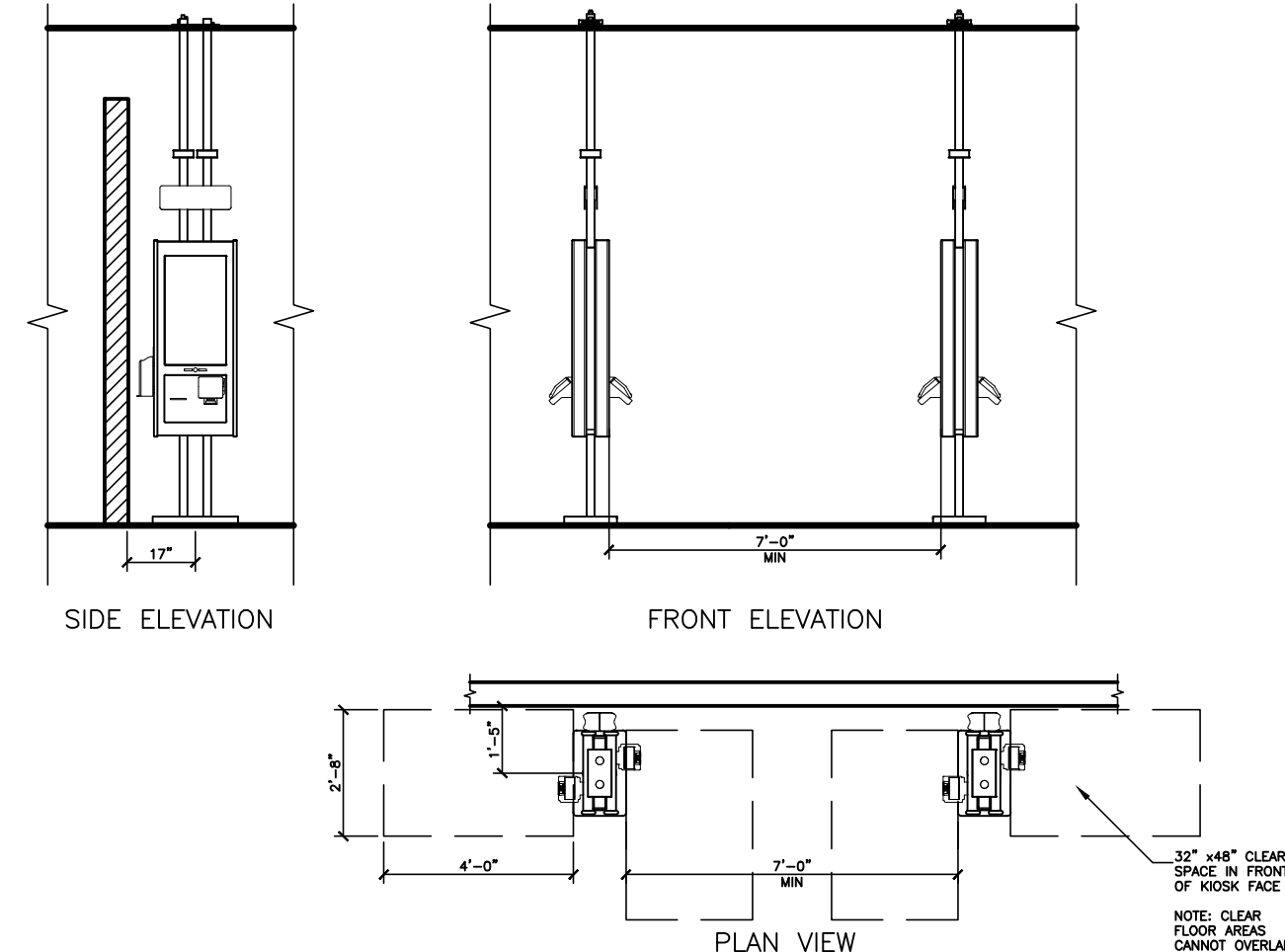


#### GENERAL NOTES:

- TYPICAL KIOSK QUANTITY (4), FINAL QUANTITY PER RESTAURANT TO BE DETERMINED BY MCDONALD'S OPERATIONS TEAM AND ACM
- 12" CLEAR DIMENSION HIGHLY RECOMMENDED BETWEEN FRONT COUNTER AND KIOSK \*EXISTING CONDITIONS TO BE CONSIDERED
- SEE PUCK HOLDER GUIDELINE FOR PLACEMENT
- WALL FINISH BEHIND KIOSK TO COORDINATE WITH DECOR
- POWER FROM ABOVE (WITH STANDARD CEILING HEIGHT) IF CEILING IS GREATER THAN 10'-6" CONTACT USRD PROJECT MANAGER, SEE KIOSK CUT SHEET FOR ADDITIONAL ELECTRICAL INFORMATION
- CONSIDER SIZE OF BASE PLATE FOR CLEARANCE WHEN ANGLING A KIOSK AGAINST A WALL/PARTITION
- KIOSK MAY BE TURNED ON AN ANGLE TO INCREASE SCREEN VISIBILITY
- DOUBLE SIDED OR SINGLE SIDED KIOSKS CAN BE FREE FLOATING OR ANGLED
- WHEN SPACE ALLOWS, THIS SOLUTION IS THE ULTIMATE IN INTERRUPTING CUSTOMERS AND IDEAL WHEN LARGE GROUPS ARE EXPECTED TO ORDER TOGETHER
- ENSURE ADEQUATE CIRCULATION AROUND FREE FLOATING KIOSKS
- IDEAL WHEN A LARGE QUANTITY OF KIOSK FACES ARE REQUIRED

### DOUBLE SIDED KIOSK

CONFIGURATION: PERPENDICULAR TO WALL/PARTITION MULTIPLE UNITS



#### GENERAL NOTES:

- TYPICAL KIOSK QUANTITY (4), FINAL QUANTITY PER RESTAURANT TO BE DETERMINED BY MCDONALD'S OPERATIONS TEAM AND ACM
- 12" CLEAR DIMENSION HIGHLY RECOMMENDED BETWEEN FRONT COUNTER AND KIOSK \*EXISTING CONDITIONS TO BE CONSIDERED
- SEE PUCK HOLDER GUIDELINE FOR PLACEMENT
- WALL FINISH BEHIND KIOSK TO COORDINATE WITH DECOR
- POWER FROM ABOVE (WITH STANDARD CEILING HEIGHT) IF CEILING IS GREATER THAN 10'-6" CONTACT USRD PROJECT MANAGER, SEE KIOSK CUT SHEET FOR ADDITIONAL ELECTRICAL INFORMATION
- IDEAL WHEN PLACED IN FRONT OF THE SERVICE AREA, LESS LIKELY TO INTERFERE WITH FRONT COUNTER QUEUING
- IDEAL WHEN TRYING TO CAPTURE CUSTOMERS FROM TWO ENTRANCES
- LEVERAGES EXISTING DECOR ELEMENTS TYPICALLY SEEN IN OUR STANDARD DECOR LAYOUTS
- THIS IS THE PREFERRED PLACEMENT CONFIGURATION

### PUCK DISPENSER

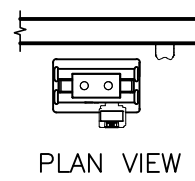
LOCATION GUIDELINES

#### GENERAL NOTES

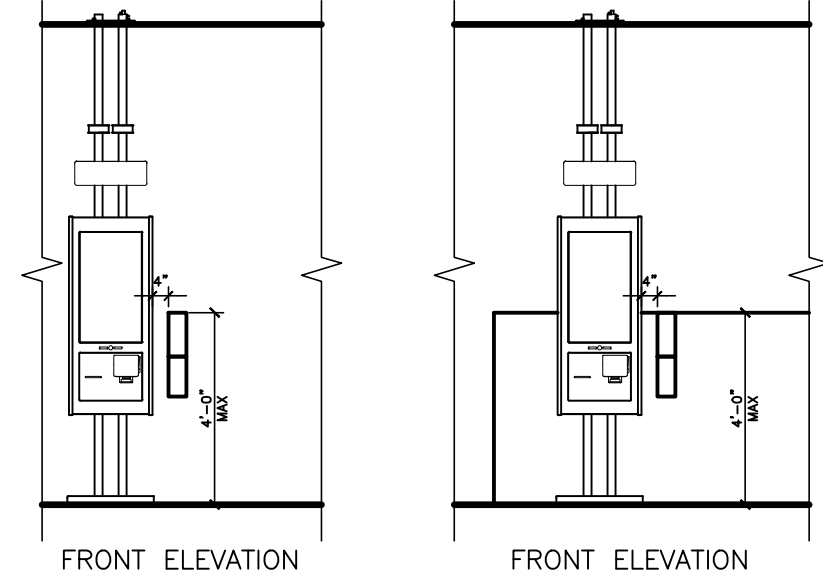
- FLUSH MOUNT PUCK DISPENSER PER KIOSK FACE
- BOTTOM OF SINGLE PUCK DISPENSER SHOULD NEVER BE LOWER THAN 27" AFF
- TOP OF PUCK DISPENSER NEVER HIGHER THAN 48" AFF

#### PUCK LOCATION 'A'

- HME FLUSH MOUNT PUCK DISPENSER
- KIOSK PARALLEL TO WALL
- PUCK DISPENSER TO BE MOUNTED ON THE WALL OR PARTITION BEHIND THE KIOSK
- PUCK LOCATOR TO ALWAYS BE MOUNTED 4" TO THE RIGHT OF THE KIOSK IF SPACE ALLOWS
- \*DISPENSER MAY BE MOUNTED EITHER DIRECTLY TO KIOSK OR TO WALL BEHIND KIOSK



PLAN VIEW

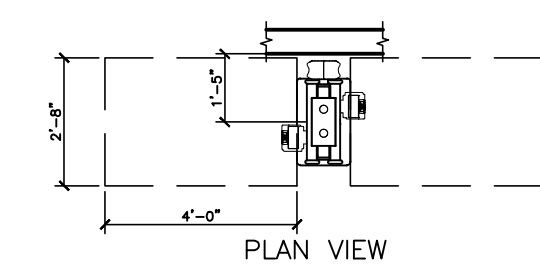


FRONT ELEVATION

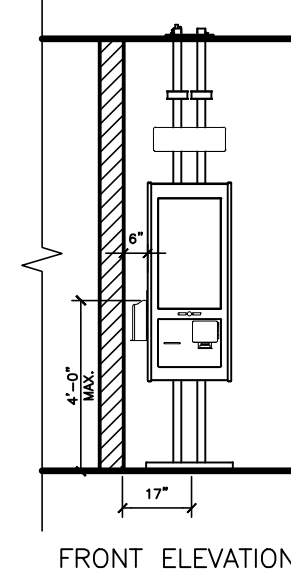
FRONT ELEVATION

#### PUCK LOCATION 'B'

- HME FLUSH MOUNT PUCK DISPENSER
- KIOSK PERPENDICULAR TO WALL
- PUCK DISPENSER TO BE MOUNTED DIRECTLY TO KIOSK, BACK TO BACK
- DISPENSERS SHOULD ALWAYS BE MOUNTED ON KIOSK SIDE CLOSEST TO THE WALL



PLAN VIEW



FRONT ELEVATION

# GENERAL NOTES

#### CONSTRUCTION DOCUMENTS:

- BY EXECUTION OF THE CONSTRUCTION CONTRACT, THE CONTRACTOR REPRESENTS THAT HE OR SHE HAS (1) READ AND UNDERSTANDS THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS, (2) VISITED THE PROJECT-SITE, (3) BECOME FAMILIAR WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED, (4) CORRELATED PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS, AND (5) THAT HE OR SHE WILL COMPLY WITH ALL REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS.
- THE INTENT OF THE CONSTRUCTION DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE CONSTRUCTION WORK - AND TO PROVIDE (FURNISH AND INSTALL) ALL PRODUCTS, MATERIALS, EQUIPMENT OR ACCESSORIES REQUIRED FOR PROPER OPERATION, IN ACCORDANCE WITH THEIR MANUFACTURER'S REQUIREMENTS.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY - WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. WHILE PREPARED WITH DUE CARE AND DILIGENCE, PERFECTION IS NOT POSSIBLE. DESIGN AND CONSTRUCTION ARE COMPLEX - EVERY POSSIBLE CONDITION OR CONTINGENCY CANNOT BE ANTICIPATED OR FULLY INDICATED WITHIN THE DOCUMENTS.
- CAREFULLY STUDY AND COMPARE THE VARIOUS DRAWINGS (INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL) AND OTHER CONTRACT DOCUMENTS WITH THE EXISTING CONDITIONS AT THE PROJECT-SITE BEFORE STARTING CONSTRUCTION. REPORT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED FOR CLARIFICATION. THE CONTRACTOR WILL BE RESPONSIBLE FOR REPAIR OR CORRECTION COSTS IF WORK IS EXECUTED WITH KNOWLEDGE THAT IT INVOLVES AN ERROR, INCONSISTENCY OR OMISSION - WITHOUT THE ABOVE NOTICE.
- IN THE EVENT OF CONFLICT OR AMBIGUITY WITHIN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR WILL BE DEEMED TO HAVE AGREED TO PROVIDE THE GREATER QUANTITY AND / OR BETTER QUALITY OF MATERIALS AND / OR WORK. OMISSIONS IN THE DESCRIPTION OF THE WORK DO NOT RELIEVE THE CONTRACTOR FROM PROVIDING A COMPLETE PROJECT.

#### GENERAL SCOPE OF WORK:

- PERFORM ALL CONSTRUCTION WORK INDICATED OR OTHERWISE REQUIRED FOR COMPLETION OF THE PROJECT - EXCEPT AS NOTED OTHERWISE.
- SCHEDULE AND COORDINATE THE WORK OF THE COMPLETE PROJECT TO ASSURE AN EFFICIENT AND ORDERLY SEQUENCE OF INSTALLATION OF ALL ELEMENTS - WITH PROVISIONS FOR ACCOMMODATING ITEMS TO BE INSTALLED LATER.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.
- PROVIDE ALL REQUIRED NOTICES FOR INSPECTIONS AND APPROVALS OF THE WORK BY THE AUTHORITY HAVING JURISDICTION (AHJ). THE MOST RESTRICTIVE CODE REQUIREMENTS AS INTERPRETED BY LOCAL OFFICIALS WILL APPLY.
- VERIFY LOCATIONS OF EXISTING UTILITY SERVICE CONNECTIONS SERVING THE PROJECT BEFORE STARTING CONSTRUCTION. LOCATIONS OF EXISTING UTILITIES NOTED ARE APPROXIMATE, AND MAY BE BASED ON UN-VERIFIED INFORMATION. PROVIDE ALL CONNECTIONS REQUIRED AT UTILITY CONNECTION POINTS AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE SUBCONTRACTORS WITH A FULL-SET OF THE CONSTRUCTION DOCUMENTS TO ENSURE COORDINATION BETWEEN ALL TRADES AND EACH SUBCONTRACTOR.
- ALL CONSTRUCTION WORK MUST BE OF GOOD QUALITY - FREE FROM DEFECTS AND IN ACCORDANCE WITH REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS - OR THE WORK MAY BE CONSIDERED DEFECTIVE - AND SUBJECT TO CORRECTION OR REPLACEMENT BY THE CONTRACTOR WITHIN A PERIOD OF ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION.

#### INSTALLATION OF OWNER-FURNISHED PRODUCTS:

- COORDINATE, RECEIVE AT SITE, VERIFY RECEIPT, HANDLE, STORE ON-SITE (IF REQUIRED), PROTECT AND INSTALL OWNER-FURNISHED PRODUCTS, AND PROVIDE SERVICE CONNECTIONS AS APPLICABLE.
- NOTIFY THE OWNER WITHIN FIVE (5) DAYS OF RECEIPT OF ANY ITEMS ARE MISSING, DAMAGED OR OTHERWISE DEFECTIVE. LACK OF NOTIFICATION WILL BE CONSIDERED PRESUMPTIVE PROOF THAT ALL ITEMS DID ARRIVE UNDAUNAGED AND IN PROPER QUANTITIES, AND ANY REPLACEMENT OR REPAIRS NECESSARY WILL THEN BE THE RESPONSIBILITY OF THE CONTRACTOR.
- REPAIR DAMAGE TO OWNER-FURNISHED PRODUCTS CAUSED BY CONSTRUCTION OPERATIONS TO THE OWNER'S SATISFACTION.

#### TEMPORARY FACILITIES, UTILITIES & CONTROLS:

- PROVIDE BARRIERS, FENCES AND OTHER CONTROLS TO PREVENT PUBLIC ENTRY TO CONSTRUCTION AREAS, AND TO PROTECT CONSTRUCTION WORKERS AND THE PUBLIC FROM HAZARDS OF CONSTRUCTION.
- PROVIDE PROTECTION OF CONSTRUCTION MATERIALS FROM LOSS, DAMAGE, FIRE OR THEFT, AND PROTECT EXISTING CONSTRUCTION FROM DAMAGE BY CONSTRUCTION OPERATIONS.
- PROVIDE TEMPORARY FIRE-PREVENTION MEASURES AND PROCEDURES INCLUDING FIRE-EXTINGUISHERS PER AHJ REQUIREMENTS.
- PROVIDE DUMPSTERS AND COLLECT WASTE DAILY. DISPOSE OF MATERIAL IN A LAWFUL MANNER. PLACE DUMPSTER IN LOCATION APPROVED BY OWNER OR LANDLORD, AS APPLICABLE.

#### GENERAL PRODUCT REQUIREMENTS:

- STORE PRODUCTS PER MANUFACTURER'S INSTRUCTIONS, PROTECTED FROM DAMAGE OR ABUSE, AND WITH VENTILATION TO AVOID CONDENSATION.
- APPLICATION OF A MATERIAL OR EQUIPMENT ITEM TO WORK INSTALLED BY OTHERS CONSTITUTES ACCEPTANCE OF THAT WORK AND ASSUMPTION OF RESPONSIBILITY FOR SATISFACTORY INSTALLATION AND PERFORMANCE.
- INSPECT EACH ITEM OF MATERIAL OR EQUIPMENT IMMEDIATELY PRIOR TO INSTALLATION. REJECT DAMAGED AND DEFECTIVE ITEMS.
- COORDINATION WITH FIXTURES, FURNISHINGS & EQUIPMENT (FF&E):
- REVIEW THE OWNER'S SEPARATE CASEWORK/FIXTURES, FURNISHINGS, EQUIPMENT, & SIGNAGE DRAWINGS FOR UNIT SIZES, WEIGHTS, SERVICE-CONNECTIONS AND CLEARANCES REQUIRED - WHETHER FURNISHED OR INSTALLED BY THE CONTRACTOR OR OTHERS. VERIFY THAT REQUIRED ROUGH-INS, CONNECTIONS AND CLEARANCES WILL BE PROVIDED. PROVIDE OPENINGS AND DELIVERY ACCESS FOR FF&E ITEMS, AND PROVIDE STAGING SPACE FOR THEIR INSTALLATION. REPORT DISCREPANCIES OR OMISSIONS OF EQUIPMENT REQUIREMENTS PRIOR TO INSTALLATION.
- PROVIDE ALL HVAC, PLUMBING, GAS OR ELECTRIC SERVICE CONNECTIONS TO CASEWORK / FIXTURES, SIGNAGE, OR EQUIPMENT INDICATED (WHETHER UNITS ARE INSTALLED BY CONTRACTOR OR BY OTHERS).

#### GENERAL EXECUTION OF THE WORK:

- ESTABLISH AND MAINTAIN DURABLE MARKERS TO LOCATE ALL ELEMENTS OF THE WORK, INCLUDING BUT NOT LIMITED TO PARTITIONS, CASEWORK, FIXTURES, EQUIPMENT AND LIGHT-FIXTURES, AND THEIR RELATED MECHANICAL, ELECTRICAL AND PLUMBING CONNECTIONS.
- AT PROJECTIONS OF FINISHED SURFACES, INCLUDING PILASTERS OR THICKENED WALLS, RETURN ALL EXPOSED SURFACE FINISHES BACK TO THE PRIMARY SURFACE EVEN IF NOT SPECIFICALLY NOTED.
- PERFORM ALL CUTTING, PATCHING AND FITTING TO ACCOMMODATE CONSTRUCTION WORK AND TO ACHIEVE THE INTENT OF THE CONSTRUCTION DOCUMENTS. CUT & PATCH PARTITIONS FOR INSTALLATION OF PLUMBING OR ELECTRICAL SERVICES AND FOR INSTALLATION OF WALL BLOCKING, IF NECESSARY. PROVIDE ESCUTCHEONS, GROMMETS AND SIMILAR SURFACE CLOSURE OR FINISHED TRIMS AT EXPOSED PENETRATIONS OF FINISHED SURFACES.
- BRACE PARTITIONS, SUSPEND CEILINGS OR SOFFITS, AND BRACE PLATFORMS, SUSPENDED ITEMS OR SIMILAR CONSTRUCTION ONLY TO STRUCTURAL ELEMENTS ABOVE - EVEN IF NOT SPECIFICALLY NOTED. DO NOT ANCHOR TO ROOF DECK, PLUMBING / SPRINKLER PIPES, DUCTWORK, ELECTRICAL CONDUIT OR SIMILAR ELEMENTS.

#### COORDINATION WITH ADJACENT CONSTRUCTION:

- LIMIT WORK TO OCCUR WITHIN THE PROJECT SITE, OR WITHIN OTHER AREAS DESIGNATED OR APPROVED FOR USE BY THE OWNER / LANDLORD / OR DEVELOPER. CONNECT TO EXISTING UTILITY SERVICES BEYOND THE PROJECT-SITE IN THE MOST EXPEDITIOUS MANNER POSSIBLE WITH MINIMAL DISTURBANCE OF EXISTING ELEMENTS OR FINISHES.
- RESTORE ALL AREAS OF EXISTING LANDSCAPING (INCLUDING SPRINKLER SYSTEMS) DISTURBED DURING CONSTRUCTION TO ITS ORIGINAL CONDITION.

#### FINAL CLEANING:

- JUST BEFORE OWNER OCCUPANCY, CLEAN ALL SURFACES INCLUDING FIXTURES AND EQUIPMENT FOR THE OWNER'S USE AND OPERATION. POLISH GLASS AND PLUMBING FIXTURES TO BE WITHOUT NOTICEABLE STREAKS. VACUUM CLEAN FLOORS AND DAMP WIPE WALLS, FIXTURES AND EQUIPMENT TO BE DUST-FREE WITHOUT STAINS, FILMS AND OTHER DISTRACTING SUBSTANCES.
- CLEAN THE PROJECT SITE OF RUBBISH, LITTER AND OTHER FOREIGN SUBSTANCES. BROOM CLEAN PAVED AREAS AND REMOVE STAINS, SPILLS AND OTHER FOREIGN DEPOSITS. RAKE GROUNDS THAT ARE NEITHER PAVED NOR PLANTED, TO A SMOOTH EVEN-TEXTURED SURFACE.



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McDonald's USA, LLC

PROJECT NAME  
MCDONALD'S CSR-SAM MOD-A

DESCRIPTION  
EXISTING EXTERIOR WALLS TO REMAIN AS IS  
EXISTING ROOF FRAMING MEMBERS TO REMAIN AS IS

GN1.0

PROTOTYPE ISSUE DATE  
2017

REVIEWED  
TAS

REVIEWED  
TAS

FIRST ISSUE DATE  
06/21/2018

SITE ADDRESS  
6851 OVERHILLS RD SPRING LAKE, NC 28390

032-1586

REVIEWED  
TAS

REVIEWED  
TAS

REVIEWED  
TAS

ELECTRICAL SPECIFICATIONS AND GENERAL NOTES:

- THE ELECTRICAL CONTRACTOR (E.C.) SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR A COMPLETE AND FULLY OPERATIONAL ELECTRICAL SYSTEM/INSTALLATION.
- MATERIALS AND INSTALLATION SHALL COMPLY WITH ALL CODES, LAWS, AND ORDINANCES OF FEDERAL, STATE, AND LOCAL GOVERNING BODIES HAVING JURISDICTION.
- ALL MATERIALS AND EQUIPMENT SHALL BE LISTED AND/OR LABELED BY U.L., ETL, CSA, OR ANOTHER RECOGNIZED TESTING LABORATORY.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES, TAXES AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF ALL ELECTRICAL WORK.
- THE CONTRACTOR SHALL PREPARE AND SUBMIT TO GOVERNMENTAL AGENCIES, UTILITY COMPANIES, AND LOCAL CODE OFFICIALS, SHOP DRAWINGS AND/OR INSTALLATION DETAILS WHICH ARE REQUIRED BY THESE AGENCIES FOR THEIR APPROVAL.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, ENGINEER, AND PROJECT MANAGER IN WRITING OF ANY MATERIALS OR APPARATUS BELIEVED TO BE INADEQUATE, UNSUITABLE, IN VIOLATION OF LAWS, ORDINANCES, RULES, OR REGULATIONS OF THE AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL PREPARE AND SUBMIT TO THE FIRE PREVENTION BUREAU ALL DOCUMENTS, INCLUDING DRAWINGS AND SUBMITTALS, REQUIRED TO OBTAIN APPROVAL OF THE EMERGENCY LIGHTING, LIFE SAFETY, AND EXIT SIGN SYSTEM(S) FOR TYPES AND LOCATIONS, A COPY OF THE APPROVED DRAWINGS SHALL BE PROVIDED TO THE ARCHITECT AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- ALL NEW ELECTRICAL WORK OR MODIFICATIONS TO EXISTING ELECTRICAL DISTRIBUTION PANELS, PANELBOARDS, METERS, ETC. SHALL BE INSTALLED AS INDICATED ON THE ELECTRICAL CONSTRUCTION DOCUMENTS. E.C. SHALL SUBMIT SHOP DRAWINGS OF ALL EQUIPMENT TO BE INSTALLED INDICATING FLOOR PLAN LAYOUT, ELEVATIONS, AND ALL DIMENSIONS FOR APPROVAL OF THE ENGINEER PRIOR TO INSTALLATION. CODE REQUIRED CLEARANCES IN FRONT OF ALL ELECTRICAL EQUIPMENT SHALL BE MAINTAINED AT ALL TIMES.
- THE CONTRACTOR SHALL INCLUDE IN BID AN ALLOWANCE FOR THE FOLLOWING ADDITIONAL LIFE SAFETY DEVICES, INCLUDING INSTALLATION AND ALL CONDUIT AND WIRE, FOR ADDITIONAL DEVICES AS MAY BE REQUIRED BY THE REVIEW OF THE AUTHORITY HAVING JURISDICTION.
  - EXIT SIGN FIXTURES
  - EMERGENCY LIGHTING FIXTURES

CONTRACTOR SHALL PROVIDE A UNIT PRICE FOR EACH FOR QUANTITY ADJUSTMENT.
- THE CONTRACTOR SHALL INCLUDE IN BID ELECTRICAL UNIT PRICES (EUP) TO PROVIDE ADDITIONAL LIFE SAFETY DEVICES WITHIN FINISHED CEILING SYSTEMS, INCLUDING ALL CONDUIT AND WIRE, FOR EACH TYPE OF DEVICE AS SCHEDULED IN NOTE NUMBER 9. THE UNIT PRICE SHALL INCLUDE ALL GENERAL CONTRACTOR ASSOCIATED COSTS TO INSTALL DEVICES WITHIN INSTALLED CEILING SYSTEMS.
- THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS, MAKE A SCHEDULED ARRANGEMENT WITH THE PROJECT MANAGER TO VISIT THE SITE, AND THOROUGHLY BECOME FAMILIAR WITH THE BUILDING STANDARDS AND LOCAL CONDITIONS RELATING TO THE WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATIONS OF THE CONTRACT.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY POWER AND WIRING FOR THE PERFORMANCE OF ALL TRADES, FOR THE ENTIRE PERIOD OF CONSTRUCTION AND SHALL REMOVE ALL TEMPORARY WIRING AT THE COMPLETION OF CONSTRUCTION. ALL COSTS FOR ESTABLISHING AND REMOVING TEMPORARY POWER SHALL BE INCLUDED IN BID.
- THE EXISTING POWER, SIGNAL, AND COMMUNICATIONS SYSTEMS ARE TO REMAIN IN SERVICE TO PROVIDE FOR THE OWNER'S EXISTING FUNCTIONS. SHOULD IT BECOME NECESSARY TO SHUT-DOWN ANY SYSTEM OR PORTION OF A SYSTEM, APPROVAL IN WRITING MUST BE OBTAINED FROM THE PROJECT MANAGER AND SHALL BE ONLY FOR THE PERIOD AND TIME AGREED UPON. THE BID IS TO INCLUDE THE COST OF ANY TEMPORARY WIRING AND PREMIUM TIME REQUIRED FOR THE SHUTDOWN.
- ALL MATERIALS AND EQUIPMENT SHALL BE ERECTED, INSTALLED, TOOLED, CONNECTED, CLEANED, ADJUSTED, TESTED, CONDITIONED, AND PLACED IN SERVICE IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
- ALL CUTTING, DRILLING, AND PATCHING OF MASONRY, DRYWALL, CONCRETE, STEEL, OR IRON WORK BELONGING TO THE BUILDING SHALL BE DONE BY THIS CONTRACTOR IN ORDER THAT WORK MAY BE PROPERLY INSTALLED. UNDER NO CONDITIONS MAY STRUCTURAL WORK BE CUT. EXCEPT AT THE DIRECTION OF THE ARCHITECT/ENGINEER OR THEIR REPRESENTATIVE.
- SHOP DRAWINGS SHALL INCLUDE MANUFACTURER'S NAMES, CATALOG NUMBERS, CUTS, DIAGRAMS, AND OTHER SUCH DESCRIPTIVE DATA AS MAY BE REQUIRED TO IDENTIFY AND REVIEW THE EQUIPMENT. SUBMITTALS SHALL BE IN LOGICAL GROUPS (FOR EXAMPLE ALL LIGHTING FIXTURES). PARTIAL SUBMITTALS WILL NOT BE REVIEWED.
- SUBMIT FOUR (4) COPIES OF THE FOLLOWING SHOP DRAWINGS FOR REVIEW:
  - LIGHTING FIXTURES AND LAMPS
  - WIRING DEVICES
  - LOW VOLTAGE RELAYS AND SWITCHES
  - DIMMERS AND CONTROLS
- CONTRACTOR SHALL PROVIDE "AS-BUILT" DOCUMENTATION AND HARD COPY REPRODUCIBLE DRAWINGS AT THE COMPLETION OF THE PROJECT AND SUBMIT TO THE ARCHITECT AND THE ENGINEER. AS-BUILT DRAWINGS SHALL INDICATE EXACT CIRCUIT NUMBERS, LOCATIONS OF ALL DEVICES, CEILING FIXTURES, AND RACEWAY FOR LIGHTING, TELECOMMUNICATIONS AND POWER DISTRIBUTION SYSTEMS AS INSTALLED.
- ALL MATERIAL, EQUIPMENT, WIRING DEVICES, ETC. SHALL BE NEW AND OF COMMERCIAL GRADE UNLESS SPECIFICALLY INDICATED AS EXISTING TO BE REUSED ON DRAWINGS.
- EXCEPT AS NOTED OTHERWISE, ALL WORK REQUIRED FOR THE ELECTRICAL INSTALLATION AS SHOWN ON DRAWINGS SHALL INCLUDE ALL LABOR, INSTALLATION METHODS, EQUIPMENT, AND MATERIALS AND SHALL BE IN STRICT COMPLIANCE WITH ALL BUILDING STANDARDS.
- PROVIDE A COMPLETE METAL RACEWAY SYSTEM, FITTINGS AND ENCLOSURES FOR ALL ELECTRICAL WIRING SYSTEMS TO BE INSTALLED FOR THE PROJECT. SYSTEMS SHALL INCLUDE, BUT NOT BE LIMITED TO POWER, COMMUNICATIONS, SECURITY, PAGING, TEMPERATURE CONTROL AND CONTROLS.
- NOT USED.
- MINIMUM CONDUIT SIZE SHALL BE 1/2 INCH FOR GENERAL LIGHTING AND POWER CIRCUITRY UNLESS OTHERWISE INDICATED AND/OR REQUIRED BY CODE.
- FLEXIBLE CONDUIT CONNECTIONS TO RECESSED LIGHTING FIXTURES SHALL BE MADE WITH FLEXIBLE STEEL CONDUIT, 1/2 INCH MINIMUM, INCLUDING AN INSULATED COPPER GREEN EQUIPMENT GROUNDING CONDUCTOR OR SHALL BE MADE WITH METAL CLAD TYPE CABLE.
- NOT USED.
- WIRE NUMBER 8 AND SMALLER FOR USE IN INTERIOR DRY LOCATIONS SHALL BE TYPE THIN THERMOPLASTIC 600 VOLT INSULATED COPPER CONDUCTORS, FEEDERS AND POWER WIRING NUMBER 6 AND LARGER SHALL BE TYPE THW 600 VOLT INSULATED COPPER WIRE WHICH IS INSTALLED IN RACEWAY IN MOIST OR DAMP LOCATIONS SHALL BE THW, 600 VOLT INSULATED COPPER CONDUCTORS. NO WIRE SMALLER THAN NUMBER 12 AWG SHALL BE USED FOR LIGHTING OR POWER.
- BRANCH CIRCUIT HOMERUN WIRING:
  - GENERAL PURPOSE BRANCH CIRCUIT HOMERUNS CONSISTING OF TWO NETWORKS SHALL HAVE PHASE, NEUTRAL AND GROUND CONDUCTORS INCREASED TO NUMBER 10 AWG, THIN AS A MINIMUM WHERE HOMERUN (ONE OR MORE NETWORKS) EXCEEDS 100 LINEAR FEET, CONDUCTOR SIZE SHALL BE INCREASED ONE TRADE SIZE.
  - ALL BRANCH CIRCUITS, FEEDERS, AND HOMERUNS SHALL BE PROVIDED WITH AN INSULATED COPPER GREEN GROUNDING CONDUCTOR ROUTED IN THE SAME CONDUIT. GROUNDING CONDUCTOR SHALL BE SIZED PER THE REQUIREMENTS OF NEC SECTION 250.
  - HOMERUN LENGTH SHALL BEGIN AT THE CENTRAL POINT OF ALL DISTRIBUTED CIRCUITS TO THE PANELBOARD CIRCUIT BREAKER.

- ALL NEW CIRCUIT BREAKERS FOR EXISTING PANELBOARDS AND DISTRIBUTION PANELBOARDS SHALL MATCH EXISTING BUILDING PANELBOARD MANUFACTURER AND CIRCUIT BREAKER TYPE ALL CIRCUIT BREAKERS SHALL BE BOLT ON TYPE. AIC RATING OF NEW CIRCUIT BREAKER SHALL MATCH AIC RATING OF PANELBOARD IN WHICH IT IS INSTALLED. WHERE SERIES RATED TYPE CIRCUIT BREAKERS ARE USED, NEW CIRCUIT BREAKERS SHALL BE INSTALLED SO AS TO MAINTAIN THE UL SERIES RATING OF THE ENTIRE SYSTEM. THE CONTRACTOR SHALL PROVIDE A NEW TYPEWRITTEN PANEL DIRECTORY FOR EACH PANEL CHANGED AT THE COMPLETION OF THE PROJECT. EACH CIRCUIT BREAKER SHALL BE LABELED TO IDENTIFY LOAD TYPE AND LOCATION.
- THE CONTRACTOR SHALL VERIFY THE CEILING CONSTRUCTION TYPE WITH ARCHITECTURAL DETAILS BEFORE ORDERING LIGHTING FIXTURES IN ORDER TO CONFIRM PROPER MOUNTING.
- EACH SWITCH, LIGHT, RECEPTACLE, OR OTHER MISCELLANEOUS DEVICE SHALL BE PROVIDED WITH A GALVANIZED OR SHERARIZED PRESSED STEEL OUTLET BOX OF THE KNOCKOUT TYPE, OF NOT LESS THAN NUMBER 14 U.S. GAUGE STEEL. CONDUITS SHALL BE FASTENED WITH LOCKNUTS AND BUSHINGS AND ALL UNUSED KNOCKOUTS SHALL BE LEFT SEALED. THERE SHALL BE SUFFICIENT ROOM FOR WIRES AND BUSHINGS AND DEEP BOXES SHALL BE INSTALLED WHERE REQUIRED. BOXES SHALL BE SECURELY AND ADEQUATELY SUPPORTED.
- NOT USED
- IN SUSPENDED CEILINGS, SUPPORT CONDUITS AND JUNCTION BOXES DIRECTLY FROM THE STRUCTURAL SYSTEM, DECK OR FRAMING PROVIDED FOR THAT PURPOSE. LIGHTING BRANCH CIRCUIT CONDUITS SHALL NOT BE CLIPPED TO THE CEILING SUPPORT WIRES OR SPLINE UNLESS THE CEILING SYSTEM HAS BEEN SPECIFICALLY DESIGNED FOR THAT PURPOSE AND APPROVAL HAS BEEN GRANTED BY THE ARCHITECT AND THE ENGINEER.
- E.C. SHALL PROVIDE "3M" FIRESEAL SYSTEMS FOR ALL CORES AND RACEWAY PENETRATIONS IN FIRE RATED WALLS AND PARTITIONS, FIRE RATE WALL AND CEILING PENETRATIONS, ETC. USING "CF-25" CAULK, "303" PUTTY AND/OR "FLAMESEAL" PUTTY AS PER MANUFACTURER'S INSTRUCTIONS TO MAINTAIN EXISTING AND NEW FIRE RATINGS. VERIFY FIRE RATING CONDITIONS AND LOCATIONS PRIOR TO FINAL BIDS. ALL OPEN SLEEVE PENETRATIONS SHALL BE FIRESEALED INSIDE AND OUTSIDE BY E.C. AFTER ALL CABLING IS COMPLETELY INSTALLED. SEALING METHODS SHALL BE PROVIDED BY E.C. AND SHALL BE SUBJECT TO THE APPROVAL OF THE CABLING CONTRACTOR.
- NOT USED
- NOT USED
- NUMBERED CIRCUITS SHOWN ON PLAN ARE FOR THE CONVEYANCE OF DESIGN INTENT ONLY. ACTUAL FIELD CONDITIONS WILL AFFECT CIRCUITRY. INDICATE THE ACTUAL CIRCUIT NUMBERS INSTALLED ON THE "AS-BUILT" DRAWINGS.
- BUILDING STANDARDS
  - ALL NEW CONDUIT RACEWAYS AND BOXES FOR ALL SYSTEMS SHALL BE INSTALLED TIGHT-UP TO THE BOTTOM OF THE STRUCTURAL BEAMS WHERE REQUIRED AND PROPERLY SUPPORTED FROM STRUCTURAL MEMBERS.
  - ALL NEW CONDUIT RUNS SHALL BE INSTALLED ABOVE AND OVER THE TOP OF ALL NEW AND/OR EXISTING DUCTWORK, PIPING, CONDUITS, PULLBOXES, ETC. E.C. SHALL PROVIDE ALL NECESSARY ACCESSIBLE PULLBOXES. CONDUIT BENDS NOT EXCEED CODE REQUIREMENTS WITHIN A SINGLE RUN. E.C. SHALL PROVIDE ALL PULLBOXES AS REQUIRED.
  - NEW CONDUIT RUNS OR PULLBOXES SHALL NOT BE INSTALLED LESS THAN 2 INCHES ABOVE RECESSED LIGHTING FIXTURES UNLESS APPROVED BY THE ENGINEER.
  - NEW CONDUIT RUNS OR PULLBOXES SHALL NOT BLOCK OR PREVENT FULL AND COMPLETE ACCESS AND OPERATION OF NEW OR EXISTING HVAC EQUIPMENT, ACCESS DOORS, PIPING VALVES, JUNCTION BOXES, DUCT HEATERS, MAIN SUPPLY AND RETURN AIR DUCTS, PULLBOXES, CLEANOUTS, ETC.
  - NEW CONDUIT AND PULLBOXES TO BE INSTALLED BELOW NEW OR EXISTING DUCTWORK SHALL BE MOUNTED TIGHT UP TO BOTTOM OF DUCT WITH 90 DEGREE BENDS UP SIDEWALL OF DUCT TO MEET REQUIREMENTS OF LETTER C ABOVE. SUPPORTS SHALL NOT PENETRATE DUCTWORK, AND SHALL BE INDEPENDENT OF ALL DUCTWORK SUPPORTS. DIRECT CONTACT OF CONDUIT RACEWAY SYSTEMS WITH DUCTWORK OR PIPING SHALL BE PROVIDED WITH VIBRATION SEPARATION METHOD APPROVED BY THE ENGINEER.
  - NEW CONDUIT AND BOXES TO BE INSTALLED WITHIN ALL EXISTING FINISHED BUILDING DRYWALL, FURRED BUILDING WALLS, PARTITIONS, AND COLUMNS SHALL BE INSTALLED WITH EMT AND FLEXIBLE RACEWAYS NOT MORE THAN 6'-0" LONG. ELECTRICAL CONTRACTOR SHALL INCLUDE ALL COSTS FOR DRYWALL ACCESS, CUTTING, PATCHING, PAINTING, ETC. IN BIDS FOR SUCH CONDITIONS. FIELD VERIFY ALL LOCATIONS ON SITE PRIOR TO FINAL BIDS. EXCEPTIONS DURING BIDS SHALL BE SUBMITTED IN WRITING.
  - THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE HELD RESPONSIBLE TO HAVE EXAMINED THE CONSTRUCTION SITE WITH RESPECT TO CONSTRUCTION DRAWINGS, ACTUAL FIELD CONDITIONS, DOOR FRAME HEIGHTS, PIPING OBSTRUCTIONS, DUCTWORK HEIGHTS AND LEVELS, FLOOR LEVELS, CEILING HEIGHTS, ETC. PRIOR TO FINAL BIDS.
  - HALL NEW BUILDING STANDARD EQUIPMENT, DEVICES, AND MATERIALS SHALL BE EQUAL TO OR GREATER IN QUALITY TO EXISTING APPROVED BUILDING STANDARD MATERIALS PRESENTLY INSTALLED IN BUILDING EQUIPMENT, DEVICES AND MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT, PROJECT MANAGER, AND THE ENGINEER.
  - ALL EMERGENCY AND EXIT SIGN JUNCTION BOXES SHALL BE PAINTED RED. PANEL TAG AND CIRCUIT NUMBER FOR ALL WIRING WITHIN JUNCTION BOX SHALL BE INDICATED ON COVER.
  - ALL JUNCTION BOXES SERVING LIGHTING AND POWER SHALL HAVE CIRCUIT NUMBERS AND PANEL TAGS FOR ALL WIRING WITHIN JUNCTION BOX SHALL BE INDICATED ON COVERS.
- A NEW PANELBOARD COPPER GROUND BUS SHALL BE INSTALLED FOR EQUIPMENT GROUNDING REQUIREMENTS FOR ALL PANELBOARDS LACKING A GROUND BUS.
- PERFORM ALL WORK OF A DEMOLITION NATURE THAT MAY BE REQUIRED OR NECESSARY FOR THE FULL AND COMPLETE EXECUTION OF THE WORK, WHETHER EXPLICITLY SHOWN AND/OR SPECIFIED OR NOT. EXACT EXTENT OF DEMOLITION WILL NOT BE FULLY INDICATED BY DRAWINGS. DETERMINE THE NATURE AND EXTENT OF DEMOLITION THAT WILL BE NECESSARY BY COMPARING THE CONTRACT DOCUMENTS WITH ARCHITECTURAL AND DEMOLITION DRAWINGS TO EXISTING CONDITIONS. ELECTRICAL EQUIPMENT WHICH WILL NOT BE REUSED SHALL BE TURNED OVER TO THE OWNER OR REMOVED FROM THE PREMISES AS DETERMINED BY THE PROJECT MANAGER.
- ANY EXISTING ELECTRICAL MATERIAL AND EQUIPMENT WHICH INTERFERES WITH THE NEW ADDITION OR THE REMOVAL OF EXISTING WALLS SHALL BE REMOVED OR RELOCATED BY THE CONTRACTOR. VERIFY REMOVAL AND NEW LOCATION OF EQUIPMENT WITH THE PROJECT MANAGER AND THE ARCHITECT/ENGINEER PRIOR TO WORK.
- VERIFY CLEARANCES FOR ALL NEW OR EXISTING RELOCATED ELECTRICAL WORK BEFORE PROCEEDING WITH CONSTRUCTION. COORDINATE USAGE OF AVAILABLE SPACE WITH ALL TRADES. IN THE EVENT OF CONFLICTS, NOTIFY THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH THE WORK.
- WHERE EXISTING CONDUIT IS SHOWN ON THE DRAWINGS, IT IS SHOWN DIAGRAMMATICALLY. THE EXACT ROUTING OF THE EXISTING CONDUIT SHALL BE DETERMINED ON THE JOB SITE BY THE CONTRACTOR.
- NOT USED
- ALL HANGER AND/OR ROD SUPPORT SYSTEMS SHALL BE SUPPORTED TO THE BOTTOM RIB OF THE METAL DECK, WHERE APPLICABLE.
- PROVIDE A WRITTEN GUARANTEE THAT THE ELECTRICAL INSTALLATION IS FREE FROM MECHANICAL AND ELECTRICAL DEFECTS. CONTRACTOR AT THEIR COST SHALL REPLACE AND/OR REPAIR, TO THE SATISFACTION OF THE OWNER AND/OR THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, ANY PARTS OF THE INSTALLATION WHICH MAY FAIL WITHIN A PERIOD OF 12 MONTHS FROM CONSTRUCTION ACCEPTANCE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, PROVIDED THAT SUCH FAILURE IS DUE TO DEFECTS IN MATERIAL, WORKMANSHIP, OR FAILURE TO FOLLOW THE SPECIFICATIONS, MANUFACTURER'S INSTALLATION INSTRUCTIONS AND/OR DRAWINGS.

- CONTRACTOR SHALL PROVIDE ALL NECESSARY PROPERLY SIZED WALL OR MILLWORK MOUNTED BOXES, RINGS, SUPPORTS, AND DEVICES AS REQUIRED VIA COORDINATION WITH ARCHITECTURAL WALL SECTIONS, AND MILLWORK DETAILS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS. WHERE MORE STRINGENT REQUIREMENTS THAN THOSE DESCRIBED HEREIN OR AS SET FORTH UNDER CODES, LAWS, AND ORDINANCES OF FEDERAL, STATE, AND LOCAL GOVERNING BODIES HAVING JURISDICTION, THOSE GREATER REQUIREMENTS SHALL BE ADHERED TO.
- ALL NEW EMERGENCY LIGHTING FIXTURES AND EXIT SIGNS SHALL BE PROVIDED WITH AN INTEGRAL EMERGENCY BACKUP BALLAST TO ILLUMINATE THE FIXTURES IN THE EVENT OF A POWER FAILURE. ALL COMPONENTS SHALL BE IN COMPLIANCE WITH NFPA 101 AND NFPA 70 SECTION 700. BALLAST BATTERY SHALL MAINTAIN 87.5% OF THE NOMINAL BATTERY VOLTAGE AFTER 1.5 HOURS TO COMPLY WITH HNEC SECTION 700 AND UL 924.
- IDENTIFICATION OF ELECTRICAL ITEMS
  - PROVIDE PERMANENT IDENTIFICATION MARKING AND NAMEPLATES FOR ALL CONDUCTORS AND EACH ITEM OF ELECTRICAL APPARATUS AND ASSOCIATED CONTROLLED EQUIPMENT, WITH THE SAME INSCRIPTIONS AS SHOWN ON THE DRAWINGS. ALL IDENTIFICATION MARKINGS SHALL BE CLEARLY AND NEATLY APPLIED.
  - APPLY ENGRAVED PLASTIC LAMINATE NAMEPLATES WITH NON-CORRODING TYPE SCREW FASTENERS OR RIVETS TO ALL MOTOR STARTERS, DISCONNECT SWITCHES, RELAYS, REMOTE CONTROL PANELS, PUSH BUTTON STATIONS, PANELBOARDS, SWITCHBOARDS, TRANSFORMERS, AND OTHER ELECTRICAL APPARATUS. NAMEPLATES SHALL BE WHITE WITH BLACK CORE, 1-1/4" X 3" MINIMUM WITH 3/16" HIGH LETTERING. THE NAMEPLATE SHALL IDENTIFY:
    - NAME OF DEVICE OR
    - LOAD THE DEVICE IS SERVING
  - PROVIDE A TYPEWRITTEN DIRECTORY OF CIRCUITS IN LIGHTING AND POWER PANELS AND PROVIDE PANEL IDENTIFICATION IN BLACK ALKYD PAINT STENCILED INSCRIPTIONS ON THE INSIDE OF THE DOOR, DIRECTLY ABOVE THE CENTERLINE OF THE DIRECTORY FRAME, OR ON THE VERTICAL AND HORIZONTAL CENTERLINE OF DOORS WITHOUT DIRECTORY FRAMES.
  - PROVIDE ON DEVICE PLATES FOR LOCAL TOGGLE SWITCHES, TOGGLE SWITCH MANUAL STARTERS, PILOT LIGHTS AND OTHER ELECTRICAL ITEMS, WHOSE FUNCTION IS NOT READILY APPARENT, ENGRAVED SUITABLE INSCRIPTIONS OR PLASTIC LAMINATE NAMEPLATES DESCRIBING THE EQUIPMENT CONTROLLED OR INDICATED.
  - EMBOSSED SELF-ADHERING PLASTIC TAPE LABELS WILL NOT BE ACCEPTED.
- ELECTRICAL CONTRACTOR SHALL COORDINATE ALL EXISTING OR NEW NON-ACCESSIBLE SYSTEM DEVICES, PULLBOXES, AND EQUIPMENT, ETC. FOR RELOCATION TO ACCESSIBLE CEILING AREAS. E.C. SHALL INCLUDE ALL COMPLETE COSTS FOR RELOCATION AND VERIFY SUCH CONDITIONS WITH ARCHITECTURAL CEILING PLANS PRIOR TO FINAL BIDS.
- EXISTING CONDITIONS OF ALL EXISTING BUILDING EQUIPMENT, DEVICES, FIXTURES, AND SYSTEMS THAT REQUIRE REWIRING, REUSE, RELOCATION, OR REFURBISHING AS PER DRAWINGS AND SPECIFICATIONS SHALL BE FIELD VERIFIED BY THE E.C. PRIOR TO COMMENCEMENT OF ANY WORK TO BE COMPLETELY OPERATIONAL. E.C. SHALL SUBMIT A WRITTEN STATEMENT AND ITEMIZED LISTING OF ALL EXISTING CONDITIONS OF THE FOLLOWING, ALTHOUGH NOT LIMITED TO THOSE LISTED:
  - HVAC EQUIPMENT
  - EXIT SIGNS AND EMERGENCY LIGHTING FIXTURES
  - LIFE SAFETY/FIRE ALARM SYSTEM DEVICES
  - LIGHTING AND RECEPTACLE DEVICES.

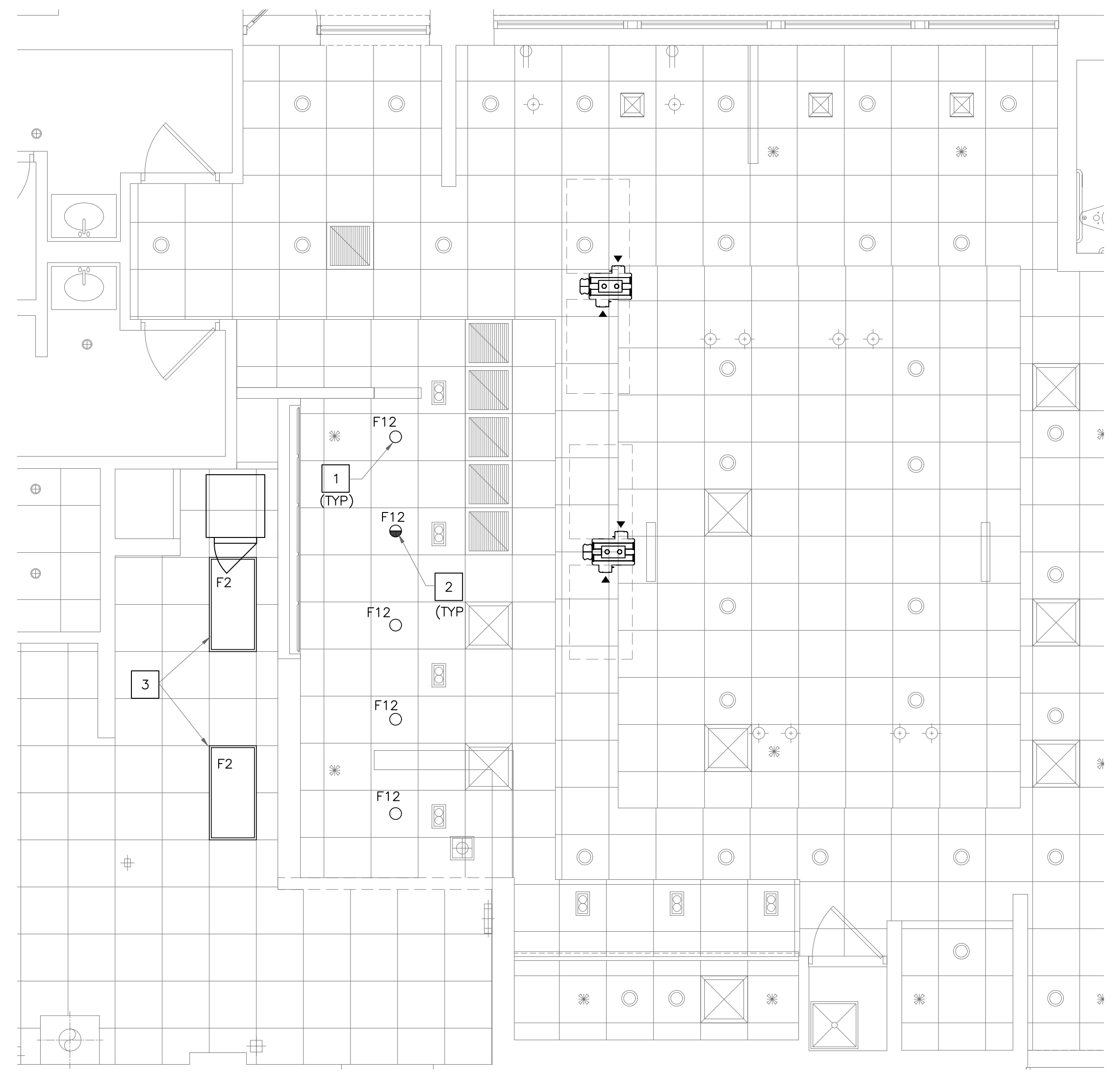
THE WRITTEN STATEMENT SHALL BE SUBMITTED TO THE PROJECT MANAGER, ARCHITECT, AND ENGINEER PRIOR TO WORK. IN THE EVENT THAT THE CONTRACTOR COMMENCES WORK WITHOUT SUBMITTAL, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY AND COST TO MAINTAIN THE ABOVE IN GOOD WORKING ORDER AND CONDITION.
- E.C. SHALL REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF ALL ELECTRICAL AND COMMUNICATIONS OUTLETS. ELECTRICAL ENGINEERING DRAWINGS SHALL BE USED FOR CIRCUITING INFORMATION ONLY.
- E.C. SHALL REFER TO MECHANICAL AND PLUMBING ENGINEERING DRAWINGS FOR EXACT LOCATIONS OF ALL MECHANICAL AND PLUMBING EQUIPMENT.

LIGHTING FIXTURE SCHEDULE:

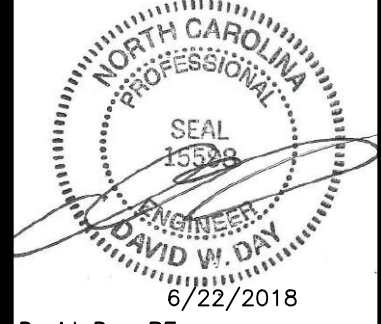
| MARK | SYMBOL | DESCRIPTION          | DIFFUSER          | LAMPS |      | BALLAST | MOUNTING | MANUFACTURER AND CATALOG NUMBER                |
|------|--------|----------------------|-------------------|-------|------|---------|----------|--|
|      |        |                      |                   | WATTS | TYPE |         |          |  |
| F2   |        | 2' X 4' GRID TROFFER | PRISMATIC ACRYLIC | 45W   | LED  | -       | RECESSED | SECURITY LIGHTING: # SLLJT24-35MLG-FSA12-EU-WP |
| F12  |        | 6" LED DOWN LIGHT    | -                 | 12W   | LED  | -       | RECESSED | SECURITY LIGHTING #LB6LEDA10L-35K-9-SA/DBXQL   |

KEY NOTES

- RELOCATE EXISTING RECESSED DOWN LIGHTS TO NEW CONFIGURATION AS INDICATED. REUSE ALL EXISTING CIRCUITS AND CONTROLS. VERIFY ALL CONDITIONS IN FIELD.
- RELOCATE EXISTING CEILING MOUNTED INTERIOR EMERGENCY EGRESS LIGHTING. REUSE EXISTING CONTROLS, CIRCUITING AND EMERGENCY POWER SOURCE. CEILING MOUNTED FIXTURES TO BE USED AS NIGHT LIGHTS. VERIFY ALL CONDITIONS IN FIELD.
- REMOVE EXISTING FLUORESCENT FIXTURE AND REPLACE WITH NEW LED FIXTURE AS SCHEDULED. REUSE EXISTING KITCHEN CIRCUITS AND CONTROLS. VERIFY ALL CONDITIONS IN FIELD.



1 ELECTRICAL LIGHTING PLAN  
E1.0 1/4" = 1'-0"



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PO Box 1640  
Anahuac, Tx 77514

**McDonald's USA, LLC**

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|                      |  |
|----------------------|--|
| PROJECT NAME         | McDONALD'S CSR-SAM MOD-A   |
| DESCRIPTION          | EXISTING EXTERIOR WALLS TO REMAIN AS IS<br>EXISTING ROOF FRAMING MEMBERS TO REMAIN AS IS |
| DRAWN BY:            | MES  |
| PROTOTYPE ISSUE DATE | 2017   |
| REVIEWED BY:         | TAS  |
| FIRST ISSUE DATE     | 06/21/2018   |
| SHEET NO.            | E1.0   |
| SITE ADDRESS         | 6851 OVERHILLS RD SPRING LAKE, NC 28390  |

E1.0  
ELECTRICAL DETAILS



